



## ACKNOWLEDGMENTS:

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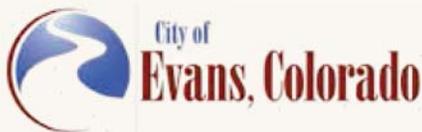
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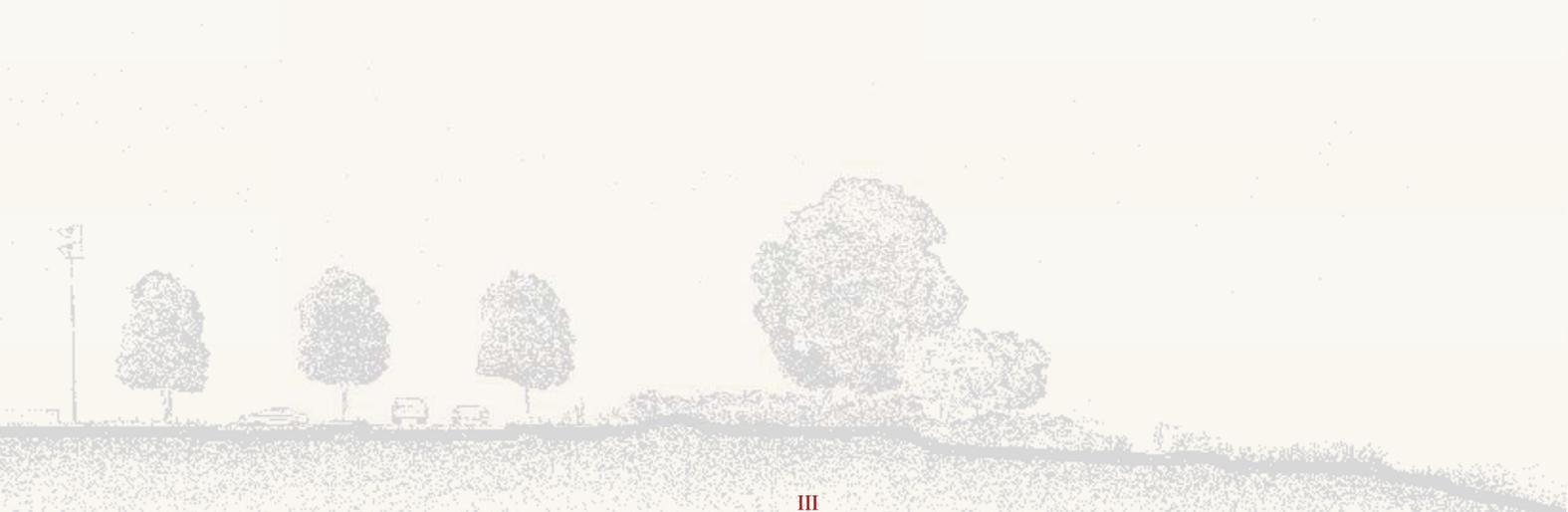


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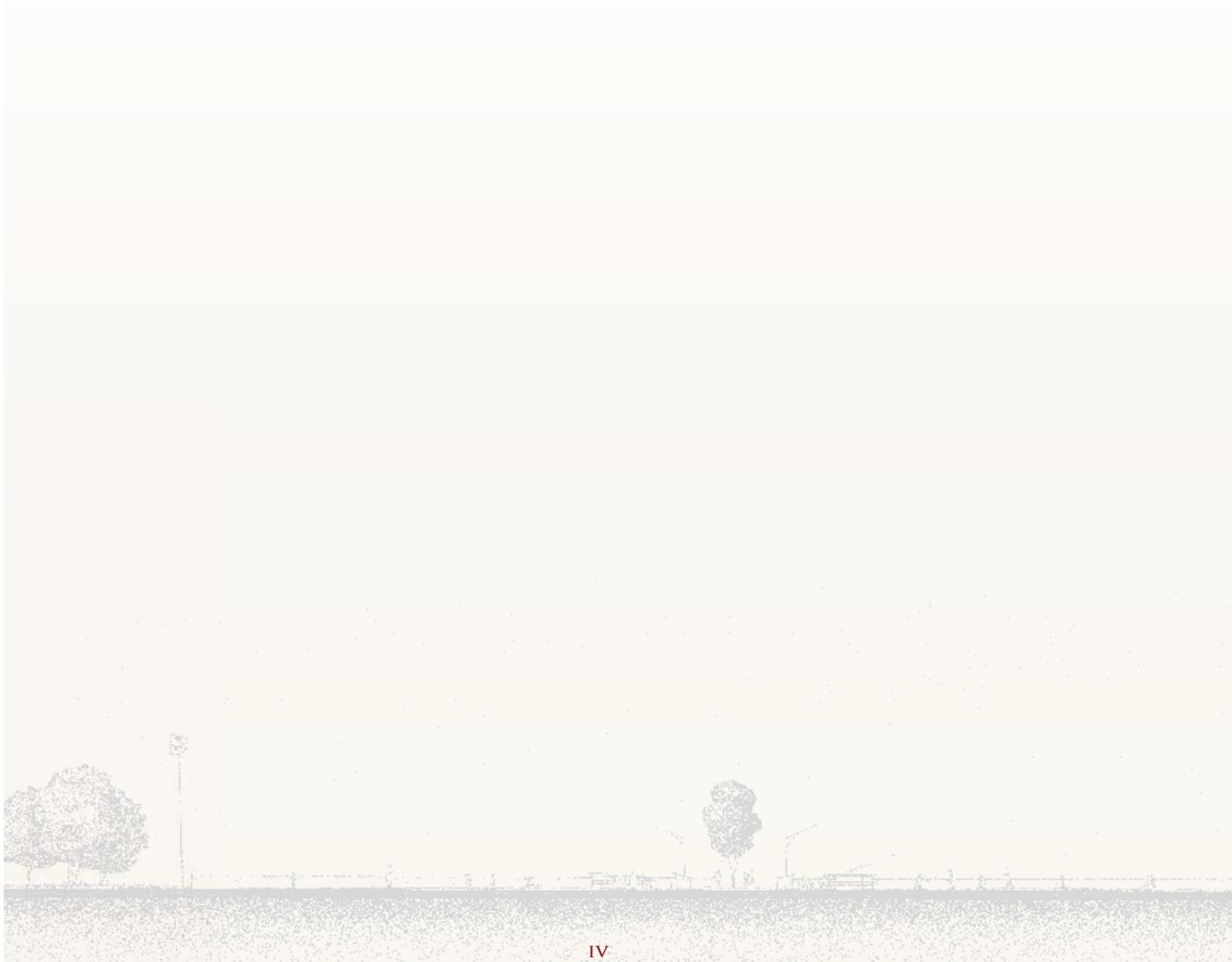


# TABLE OF CONTENTS

CHAPTER I: PROJECT INTRODUCTION .....	1-1
VISION AND GOALS.....	1-6
CHAPTER II: PROJECT BACKGROUND .....	2-1
PRE-FLOOD CONDITIONS.....	2-1
EXISTING POST-FLOOD CONDITIONS.....	2-2
BURIED DEBRIS BERM.....	2-6
EXISTING FLOODPLAIN HYDRAULICS.....	2-7
CITY-WIDE PARKS INVENTORY .....	2-8
PARKS COMMUNITY COMPARISON .....	2-9
PUBLIC SURVEY RESULTS.....	2-12
CHAPTER III: PLANNING PROCESS.....	3-1
PROJECT START-UP.....	3-1
DATA GATHERING.....	3-2
PLANNING PROCESS.....	3-7
CHAPTER IV: RIVERSIDE PARK MASTER PLAN.....	4-1
MASTER PLAN OVERVIEW .....	4-1
CONCEPTUAL USE AREAS.....	4-6
CIRCULATION, ACCESS AND CONNECTIONS .....	4-11
STRUCTURE AESTHETICS.....	4-14
UTILITIES .....	4-17
RESTORING PREVIOUS PARK FUNCTIONS.....	4-18
UPDATED USER ESTIMATES.....	4-19
CHAPTER V: IMPLEMENTATION .....	5-1
PROJECTED COST ESTIMATES.....	5-1
FUNDING SHORTFALLS.....	5-4
IMPLEMENTATION STEPS.....	5-8
CHAPTER VI: FUNDING & PARTNERING OPPORTUNITIES.....	6-1
FUNDING OPPORTUNITIES.....	6-1
PARTNERSHIPS OPPORTUNITIES.....	6-3
CHAPTER VII: ADJACENT LAND ACQUISITIONS.....	7-1
POTENTIAL LAND ACQUISITIONS FOR THE PARK .....	7-1



<b>APPENDIX A</b> .....	<b>A1-1</b>
APPENDIX A1 - COMMUNITY SURVEY RESULTS .....	A1-1
APPENDIX A2 - RIVERSIDE PARK POST-FLOOD ASSESSMENT .....	A2-1
APPENDIX A3 - CAPITAL COST SHEETS .....	A3-1
APPENDIX A4 - PROJECT WORKSHEET #997 .....	A4-1
APPENDIX A5 - PROJECT WORKSHEET #608.....	A5-1
APPENDIX A6 - CDBG-DR NOI .....	A6-1
<b>APPENDIX B: ADDITIONAL BACKGROUND</b> .....	<b>UNDER SEPARATE COVER</b>
APPENDIX B1 - EVANS FLOODPLAIN DEVELOPMENT REGULATIONS.....	B1-1
APPENDIX B2 - RIVERSIDE BERM (EARTHEN) EVALUATION .....	B2-1
APPENDIX B3 - EPA BURIED DEBRIS REPORT.....	B3-1
APPENDIX B4 - RECORD OF ENVIRONMENTAL CONSIDERATION.....	B4-1
APPENDIX B5 - 2008 FEMA FLOODPLAIN REPORT .....	B5-1



# CHAPTER I: PROJECT INTRODUCTION

The Riverside Park Master Plan is intended to guide the reconstruction of Riverside Park after it was destroyed by the September 2013, South Platte River flood. The master plan is designed to meet the goals established through an extensive community outreach process, FEMA funding requirements and revised floodplain mapping and regulations.

Located 5 miles south of the City of Greeley, the City of Evans has a population of approximately 20,000 residents. While being a predominately white community, the City has a large population of Hispanic or Latino communities where Spanish is the primary language spoken at home.

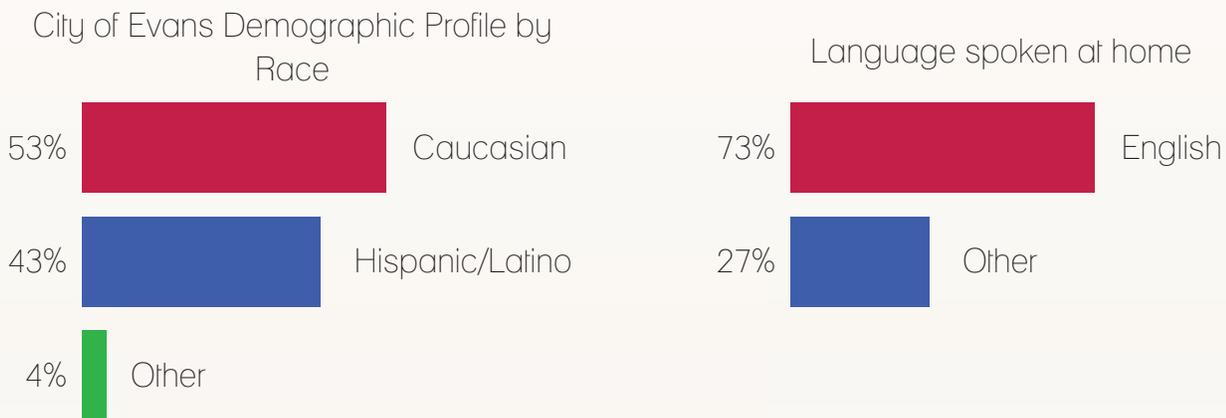


FIGURE 1.1 U.S. CENSUS BUREAU DATA 2013

Riverside Park is located at 4000 Riverside Parkway in the City of Evans, Colorado. It is a 101-acre regional park that sits along the banks of the South Platte River.

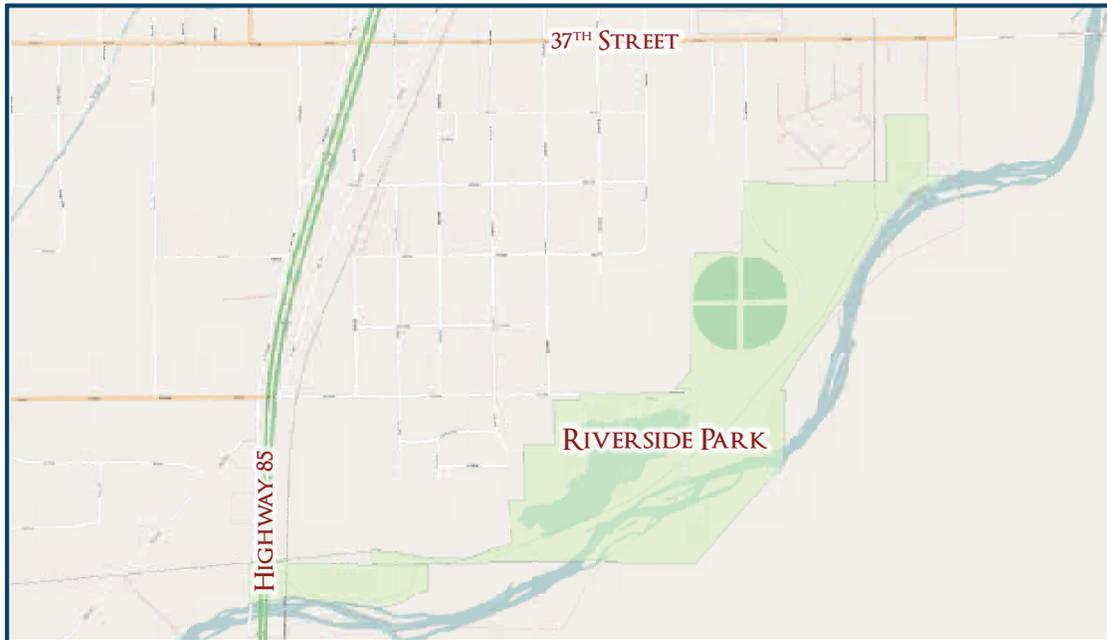


FIGURE 1.2 LOCATION MAP

In September 2013, torrential rains fell throughout Northern Colorado causing massive damage along most major river corridors in Boulder, Larimer and Weld Counties. The City of Evans was not spared from the flooding, leaving Riverside Park, Evans Wastewater treatment plant and several private properties in ruins.

The flood waters that flowed through the park also uncovered another problem; the buried debris that had been used to build the protective berm separating the park from the river.

After the flooding, City of Evans staff created multiple Project Worksheets to submit to the Federal Emergency Management Agency (FEMA) for emergency federal funding. Realizing that the reconstruction of Riverside Park would require an extensive Master Planning effort, the City of Evans also applied for a planning grant from Great Outdoors Colorado (GOCO). After receiving the grant, the City solicited qualified firms to lead the Master Planning effort and upon selection, work began on the Master Plan.

The Master Planning process began by looking at the existing conditions of the Park, including the damaged infrastructure, changed topography and buried debris spread throughout the Park. The existing conditions were then compared against the pre-flood conditions so that an accurate picture of the flood event and its causes could be formed.

Additionally, in order to understand which activities and amenities might be necessary for the new design of Riverside Park, the City of Evans' Parks System was inventoried and compared against similar sized communities.

This information was used to assist the public in making informed decisions about the community's desires for how the park should be reconstructed. Five goals were identified for the new design of Riverside Park:

1. Create a more flood resilient park
2. Consider both past and future recreational needs
3. Create a sustainable park that is maintenance appropriate
4. Maximize additional funding opportunities
5. Connect Riverside Park to other City resources



FIGURE 1.3 3-DAY STRATEGIC PLANNING SESSION WALKTHROUGH



FIGURE 1.4 NEIGHBORHOOD NIGHT OUT

Participating in public meetings and gatherings, a three-day design workshop and an online survey, the community members were able to voice their opinions, concerns and desires so that three design alternatives could be constructed and eventually combined into a single preferred design concept.

Highlights of the preferred design concept include:

- *Increased open space and passive recreation areas*
- *Additional trails*
- *Easier and additional access to the river*
- *A canoe/kayak drop-off structure*
- *A raised area of the park (out of the 100-year floodplain) that will protect:*
  - *4 full-sized ball fields*
  - *4 multi-purpose recreational fields*
  - *2 full-sized basketball courts*
  - *Restrooms, maintenance and concession buildings*
  - *Gated through-access*
  - *Additional parking*

Upon review and approval from the City of Evans Flood Recovery Task Force, Planning Commission and City Council, cost estimates and an estimated timeline for reconstruction of the Park were completed. These estimates were used to rewrite the FEMA Project Worksheets and identify where additional funding would be necessary.



FIGURE 1.5 PREFERRED DESIGN CONCEPT

# VISION AND GOALS

At the beginning of the planning process, the consultant team listened to opinions and concerns from City staff, Task Force members and local residents. The overarching theme behind the input received was that Riverside Park had incredible potential to become a regional destination point.

**THE VISION FOR RIVERSIDE PARK IS TO RE-ESTABLISH A REGIONAL PARK WITH INCREASED FLOOD RESILIENCY THAT IMPROVES AND ENHANCES THE LOCAL COMMUNITY AND ECONOMY BY ATTAINING ANTICIPATED RECREATIONAL NEEDS.**

The following five **goals** and **strategies** were developed in order to achieve this vision:

## **GOAL 1: CREATE A MORE FLOOD RESILIENT PARK**

Riverside Park is a regional amenity that the local community has come to rely on. The damage to the Park was so complete that the Park may remain closed for 2 more years. The purpose of this goal is avoid losing the Park for an extended period of time and protect it and adjacent private property from future flood events.

- **STRATEGY 1.1:** *Understand and work with the natural systems of the South Platte River*
- **STRATEGY 1.2:** *Create parts of the Park that are outside of the 100-year floodplain*
- **STRATEGY 1.3:** *Design portions of the Park with the ability to flood*

## **GOAL 2: CONSIDER BOTH PAST AND FUTURE RECREATIONAL NEEDS**

Even in the wake of a disaster, there are opportunities. Being able to assess how Riverside Park was used before the flooding allows the City and the community an opportunity to redesign the park to be more user friendly, increasing activities that are more desirable, while alleviating unused or unwanted infrastructure.

- **STRATEGY 2.1:** *Evaluate existing Parks and Recreation amenities and demands*
- **STRATEGY 2.2:** *Compare and contrast similar sized communities to identify Parks and Recreation programming gaps*
- **STRATEGY 2.3:** *Conduct a public opinion survey to identify desired parks programs*
- **STRATEGY 2.4:** *Interview key stakeholders responsible for programmed park activities*



## GOAL 3: CREATE A SUSTAINABLE PARK THAT IS MAINTENANCE APPROPRIATE

Designing a park is an exciting process with endless possibilities. However, every park must be maintained to a certain standard in order to keep the park beautiful and the surrounding community proud. Creating design features that require less maintenance will not only achieve this goal, but lower overall maintenance costs for the City.

- **STRATEGY 3.1:** *Work within the natural systems of the South Platte River valley to create more naturally sustainable vegetation*
- **STRATEGY 3.2:** *Re-create the natural Western river terraces and their associated ecosystems*
- **STRATEGY 3.3:** *Strive to use environmentally friendly, durable materials*
- **STRATEGY 3.4:** *Reconnect the floodplain through the Park to the river*

## GOAL 4: MAXIMIZE ADDITIONAL FUNDING OPPORTUNITIES

Although FEMA has already committed funds to help rebuild Riverside Park, the Park will require additional funding to be 100% realized. In order to obtain additional funds, the Park design features will have to cultivate multiple funding opportunities.

- **STRATEGY 4.1:** *Identify and research funding opportunities*
- **STRATEGY 4.2:** *Develop partnerships*
- **STRATEGY 4.3:** *Work with local, state and federal agencies to shape projects to meet specific funding programs*

## GOAL 5: CONNECT RIVERSIDE PARK TO OTHER CITY RESOURCES

Making connections between parks and other community resources encourages increased usage of the parks and garners more interest for park upgrades and maintenance levels. Additionally, it reconnects humans to the natural environment and promotes healthy lifestyles.

- **STRATEGY 5.1:** *Provide better access to the river*
- **STRATEGY 5.2:** *Explore additional access points to the Park*
- **STRATEGY 5.3:** *Coordinate with Evans Riverside Master Plan to provide better access and mobility throughout Evans Riverside*



# CHAPTER II: PROJECT BACKGROUND

## PRE-FLOOD CONDITIONS

Prior to the September, 2013 flood event, Riverside Park was the City of Evans' most utilized and largest public park. Key elements of the park included:

- 4 baseball/softball fields
- 3 multi-use recreational fields of varying sizes
- 2 full-court basketball courts
- 1 Playground
- Riverside multi-use trail
- Fishing pond
- Picnic area

The Park hosted several small recreation league sporting events including, baseball/softball tournaments, youth league soccer and flag football. The Park also hosted the City of Evans' premier public event, Evansfest.



FIGURE 2.1 EVANSFEST 2014

Evansfest is an annual festival that celebrates the local community with an abundance of activities, including a parade, live music, games, food and a host of information and activities booths. The 2013 Evansfest featured a softball tournament for the very first time. The 2013 Evansfest was also the last event to be hosted in Riverside Park before the flood.

The Park was used for a variety of different activities, although the trails and river access were the most heavily utilized parts of the park.

## EXISTING POST-FLOOD CONDITIONS

As part of the initial data gathering phase, engineers from Atkins performed an inspection of Riverside Park's infrastructure (See Appendix A2, Riverside Park Post-Flood Assessment 8/12/14). Key findings of the report included:

### ROADWAYS AND PARKING LOTS:

Major portions of the roads were washed away and destroyed in the southern portion of the Park. While other roads and parking lots throughout the Park remain intact, they are structurally unsound due to areas of erosion and decay, and excessive sediment build-up.



FIGURE 2.2 ROAD AT SOUTH ENTRANCE OF PARK



FIGURE 2.3 SEDIMENT ON PARKING LOTS

### TRAILS:

Similar to the roads, many trail segments were uprooted and washed away. Where the berm breached on the southern end of the Park, the trail that sat atop the berm was mostly washed away. Although repairs to the berm have been made, the trail itself is non-existent.



FIGURE 2.4 TRAIL ON SOUTH ENTRANCE OF PARK



FIGURE 2.5 TRAIL SEGMENT ON BURIED DEBRIS BERM

Additionally, the trash contained within the rest of the berm became saturated and swelled, loosening soil throughout the berm. As the trash began to dry and the soil resettled, the topography and stability of the berm changed. This is evidenced through the twisted and degraded trail atop the berm and the sinkholes that have developed along the entire length of the berm.

## BALLFIELDS:

The softball fields suffered serious damage. The perimeter fences have all been bent over and covered with debris. Sediment has covered the vast majority of the fields and dugouts. While the ballfield lights remain undamaged and structurally sound, the electrical systems inside of the light towers will need to be replaced.



FIGURE 2.6 DEBRIS IN BALLFIELD DUGOUTS



FIGURE 2.7 BALLFIELD FENCES

## MULTI-USE RECREATIONAL FIELDS:

The recreational fields survived the damage from the force of the flood waters but were saturated for several days, destroying the manicured grass areas and depositing sediment throughout the fields. Native grass and weeds have now populated the area where the fields once were located.

## PLAYGROUND EQUIPMENT:

While the playground equipment is still in fact, the structural stability cannot be guaranteed without taking apart the equipment. The cost to recertify the equipment is very close to the cost to replace the equipment.



FIGURE 2.8 PLAYGROUND EQUIPMENT



FIGURE 2.9 PUMP HOUSE

## PUMP STATION BUILDING:

The pump station building located on the north side of the fishing pond suffered moderate damage. The foundation, while exposed in some areas, is structurally sound. The pump itself was damaged and will need to be replaced.

## RESTROOM FACILITY BUILDING:

The restroom facility building located on the northeast side of the ballfields suffered very little damage. While the building shows areas of distress, most of that probably occurred pre-flood. The facility is covered in sediment deposits and the plumbing and electrical systems will have to be replaced.



FIGURE 2.10 MAINTENANCE BUILDING

## IRRIGATION SYSTEMS:

Besides the pump that was used to work the irrigation system needing to be replaced, major sections of irrigation lines were exposed. In areas closer to the road, many of the exposed lines are broken and cracked.



FIGURE 2.11 EXPOSED IRRIGATION LINES



FIGURE 2.12 BROKEN IRRIGATION PIPES

## BURIED DEBRIS:

The buried debris that was exposed has created many issues. Besides depositing trash debris throughout the park, large sections of exposed trash have created sinkholes and other unstable conditions.



FIGURE 2.13 BURIED DEBRIS



FIGURE 2.14 BURIED DEBRIS

## BURIED DEBRIS BERM

During the 1960's, a domestic landfill was constructed in the form of a berm between Riverside Park and the South Platte River. Because there were no hazardous materials, the material the berm is comprised of is now referred to as **buried debris**. The City of Evans purchased the land that Riverside Park now occupies in 1991 from Snyder Oil Company. The City, State and Weld County did not have a record of the buried debris being located on the site at the time of the park's construction, but have since acquired some limited records.

After the flood event exposed the buried debris contained within the berm, FEMA tasked the EPA to conduct an assessment of the buried debris to evaluate the hazards contained within the trash, as well as to ascertain the area and depth of the trash (See appendix B3, CO Floods Evans Landfill - Final Trip Report, 1/14/14).

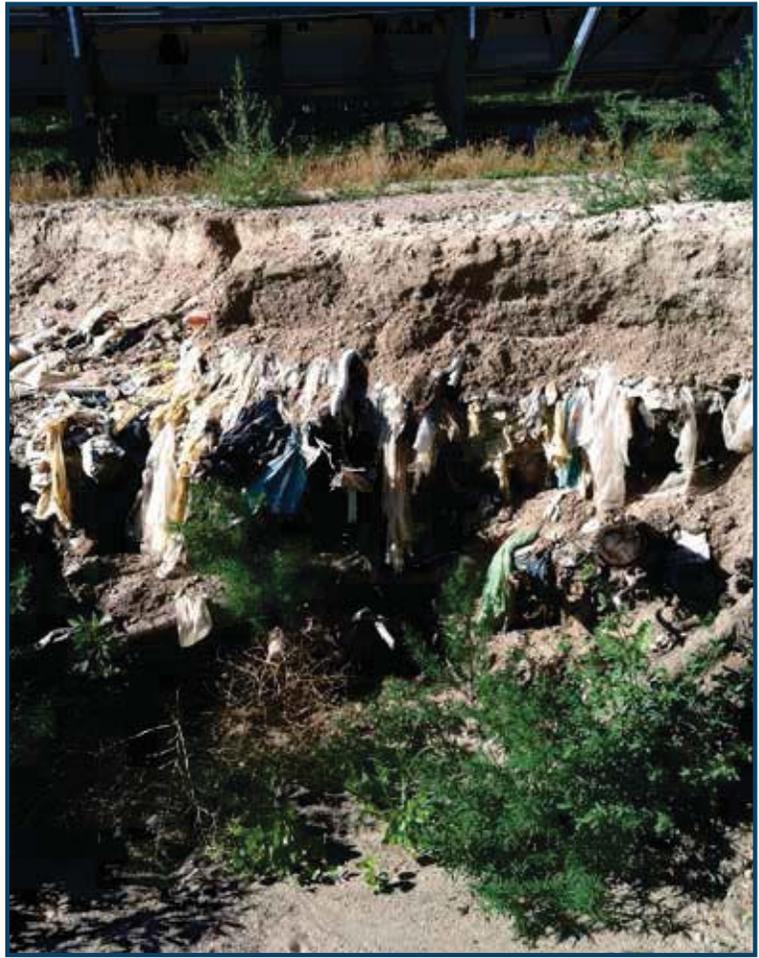


FIGURE 2.15 EXPOSED LANDFILL WASTE LAYERS

The EPA response team utilized an Electromagnetic Induction (EMI) survey to identify areas of buried objects. Once the area where the trash was contained was identified, the EPA response team dug several small test pits to verify the depth of the trash and visually investigate its composition. The EMI report concluded that the trash stretched over a 13-acre span, buried at an average depth of 7.5 feet, with some areas measuring 15 feet.

Concurrently, the EPA team installed temporary groundwater wells and conducted soil gas sampling to evaluate threats to the South Platte River and Riverside Park users.

Although comprised mainly of light-industrial and household trash, the results of the EPA study showed levels of trimethylbenzene isomers, chlorobenzene, naphthalene, toluene, trichloroethene and vinyl chloride above EPA action levels. These toxins were identified as “simple irritants versus toxic chemicals with lasting health effects on humans.” Using the Integrated Risk Information System (IRIS) the EPA determined that there was “no risk of harmful exposure to City workers or contractors on the site.” The report further concluded that “there is not a reasonable scenario that would result in harmful exposure to recreational users of the facility.”

## EXISTING FLOODPLAIN HYDRAULICS

The natural behavior of a river is to cut a path of least resistance through the existing terrain. When flood events occur in a natural river channel, the flood waters rise and recede with the gentle force of the natural current. When rivers are unnaturally channelized, the waters swell behind man-made structures and create areas of high energy as the river attempts to find the path of least resistance. Eventually, the river overpowers these man-made structures and the resulting release of energy creates a surge of water that can have devastating force.

The berm separating the South Platte River and Riverside Park was created to protect the currently low lying areas inside of the Park, as well as adjacent private property, from flood events. However, in doing so, it also channelized the river during times of heavy precipitation. In 2008, a study performed for FEMA by Atkins Engineering concluded that the berm separating the Park and the river could not be considered a flood protection levee as its standards fell short of Army Corps of Engineers requirements.

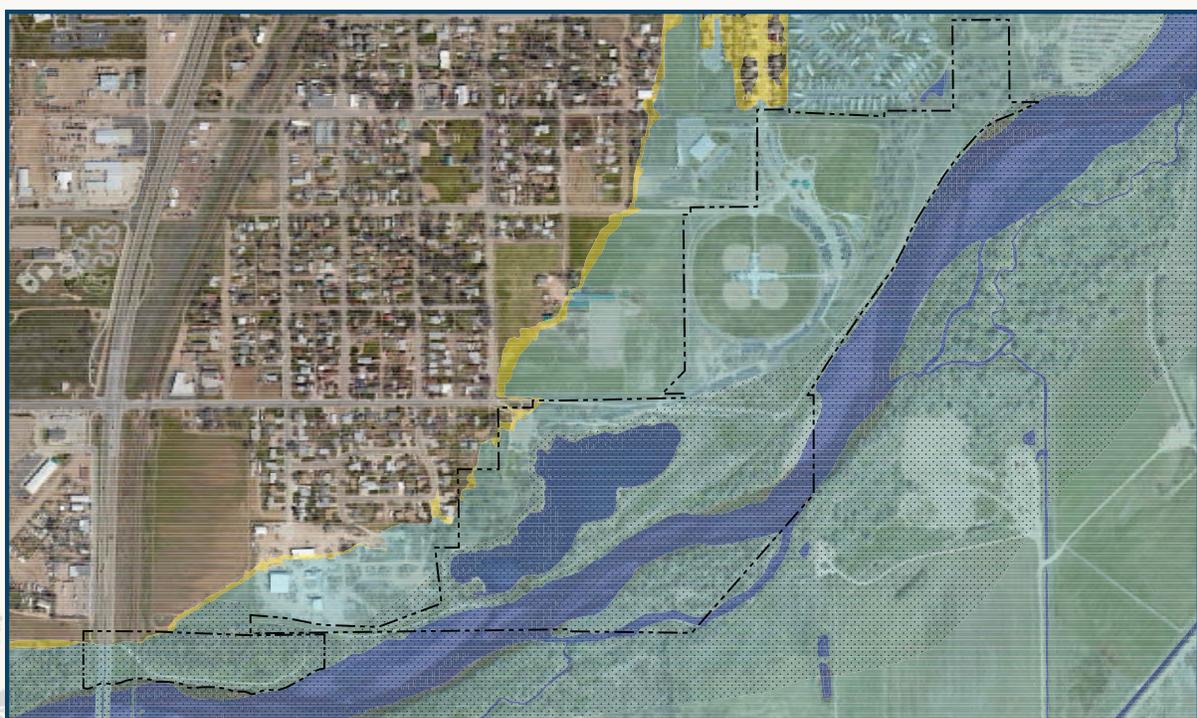


FIGURE 2.16 FLOODPLAIN DATA

Within a four day span in mid-September, 2013, over 17 inches of rain fell in Northern Colorado, resulting in a 1,000-year storm event (See appendix B2, Riverside Park Berm Evaluation, 7/14/14). As the water volume in the South Platte River swelled, the shear stress against the berm built until it finally breached at a point near the Park’s fishing pond. The water swept through the Park with such force that it scoured sediment from the 30+ foot deep fishing pond, lifted and relocated whole sections of asphalt road and trail, bent metal framed solar panels and ballfield fences and uprooted trees and other non-native vegetation.

To compound the problem, once the river waters breached the berm, they were forced to remain flowing through the Park and adjacent properties, as the more stable areas of the berm would not allow the flood water to flow back to the main body of the South Platte River.

## CITY-WIDE PARKS INVENTORY

As part of this project, THK Associates conducted a city-wide parks inventory. This study utilized existing data from the City of Evans and added additional information, such as evaluating each park’s condition and inventorying the city-wide recreation amenities. The study showed that overall, the City’s parks are in decent condition but many of them require additional maintenance or repair in order to be considered usable

for organized recreational activities. Each of the City’s parks were evaluated and rated based on the Condition Criteria below:

In order to gain a full perspective of the City’s current recreational amenities, the inventory cataloged various recreational uses and linked these directly to the condition rating of the parks. This included active uses such as baseball fields, tennis courts and volleyball courts, as well as passive uses such as open space acreage and length of trails. The results of this study are shown in [Figure 2.18](#).

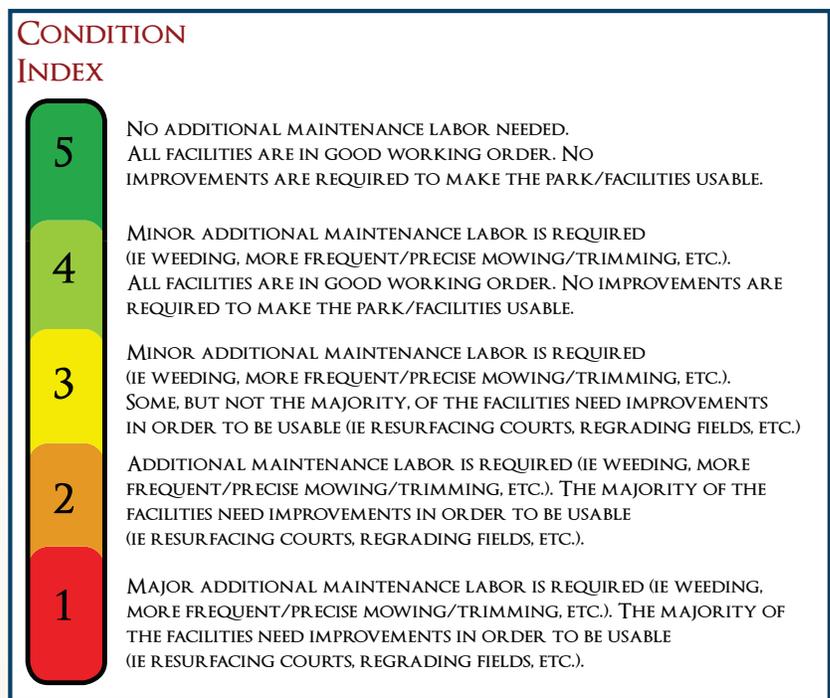


FIGURE 2.17 PARKS CONDITION INDEX



# PARKS COMMUNITY COMPARISON

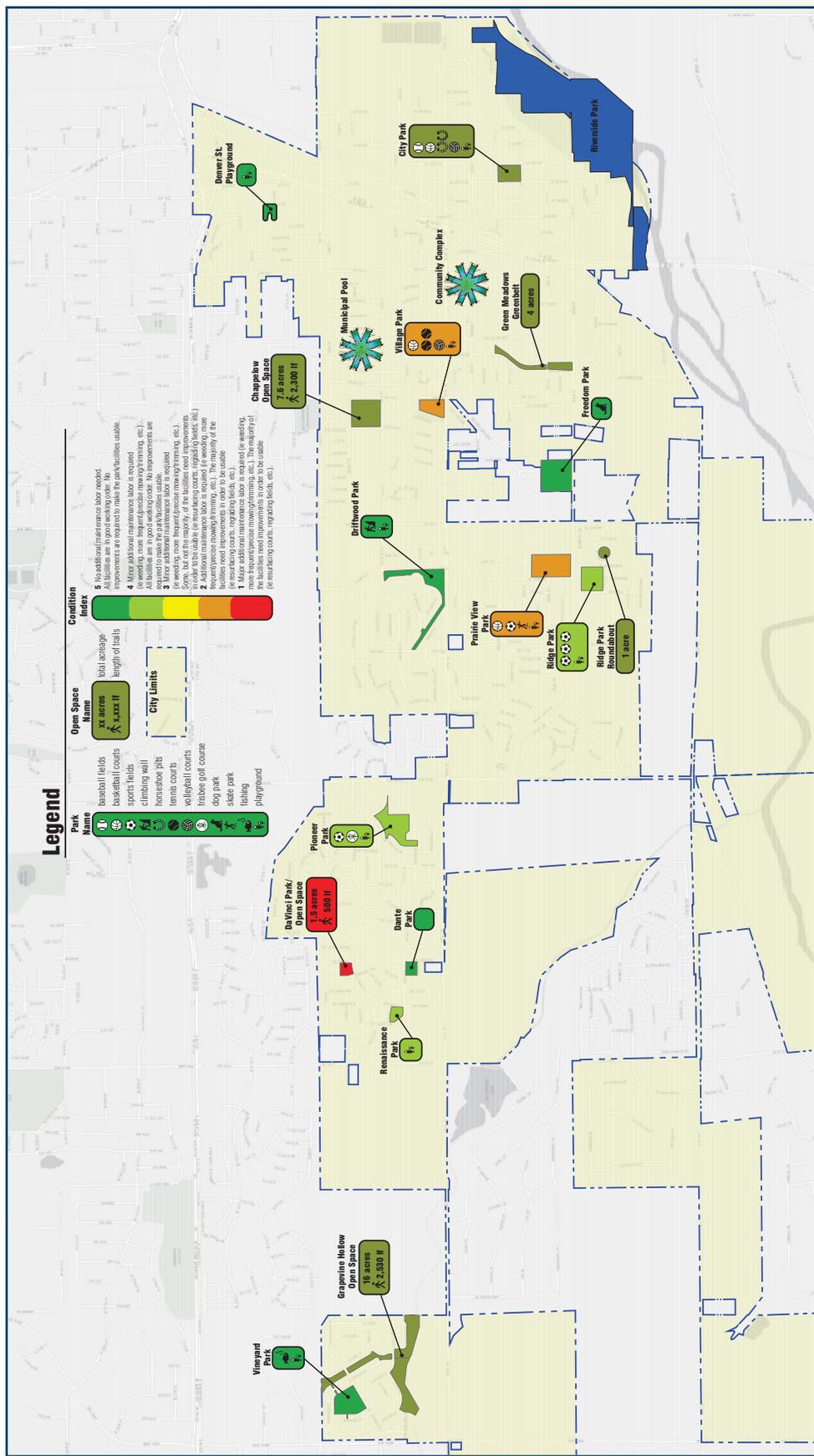


FIGURE 2.18 EVANS CITY-WIDE PARKS INVENTORY

# EVANS CITY-WIDE PARKS INVENTORY

While the City-wide Parks Inventory was useful in establishing the City's current amenities and staff available to maintain them, THK also conducted a Parks Comparison with other similarly sized communities. This provided a better understanding of how Evans compares with other communities in two main categories:

- 1. CURRENT RECREATION AMENITIES**
- 2. FULL AND PART TIME STAFF**

The Comparison highlighted that without the four-plex of ballfields at Riverside Park, the City would be lacking in ballfield availability. Because of this, it was determined that four ballfields needed to be rebuilt, either at Riverside Park or elsewhere within the City. Through the Master Planning process, it was determined that the preferred alternative was to rebuild the ballfields at Riverside Park.

The Comparison also showed that while Evans' part-time/seasonal staff count is comparable to other communities, they are lacking in full-time staff. Evans only has two full-time staff to handle maintenance, while the three comparison communities averaged 7 full-time staff members.



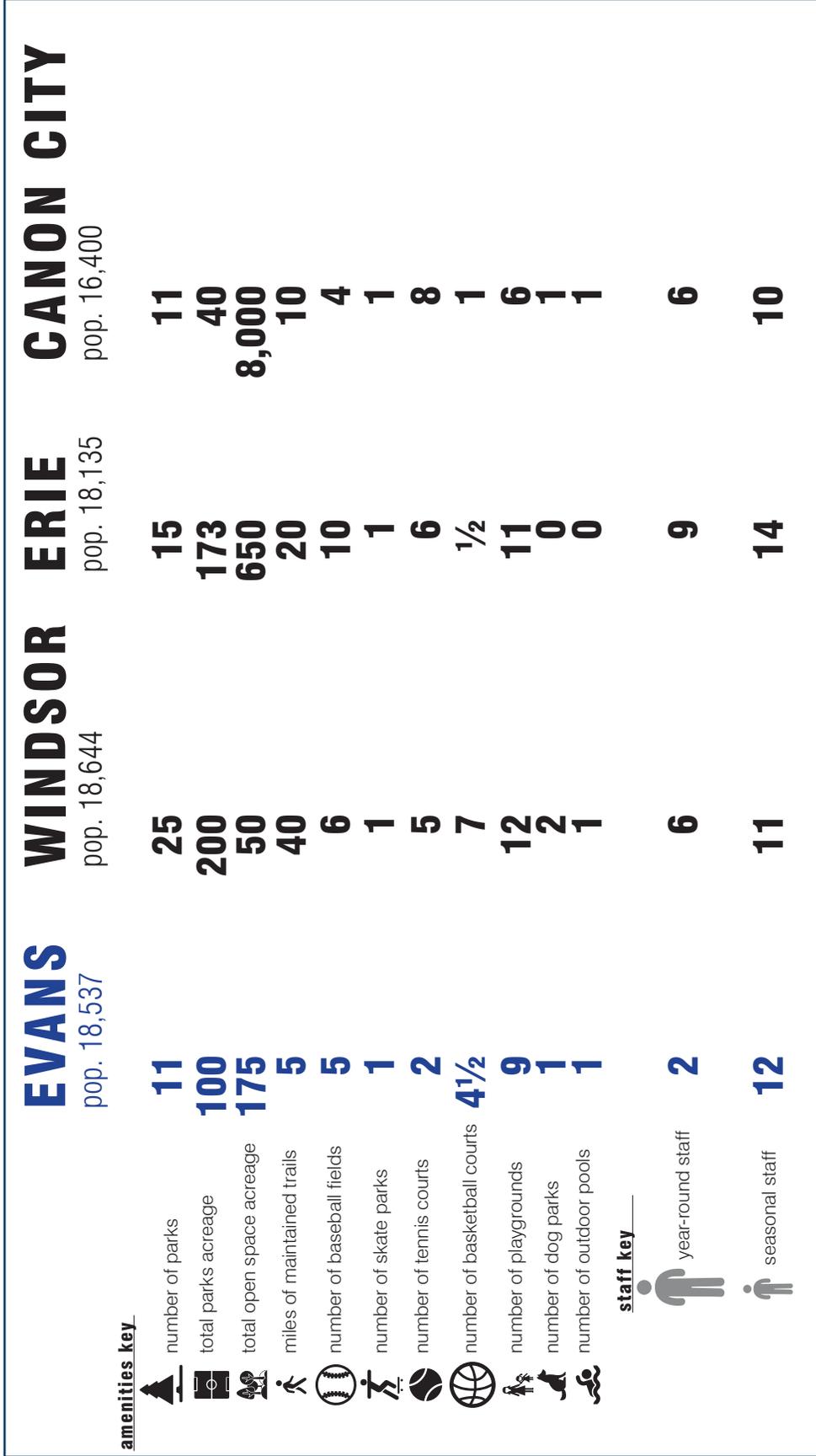


FIGURE 2.19 COMMUNITY COMPARISON

## PUBLIC SURVEY RESULTS

As part of the public outreach process, an online survey was conducted to allow City of Evans' residents and other community members an opportunity to share their concerns and ideas for the Riverside Park Master Plan (See appendix A1: Riverside Park Survey).

The survey was compiled with input from City staff, the Flood Recovery Task Force and the consultant team. The questions were specifically formatted to capture data related to the City of Evans Parks and Recreation and Riverside Park uses. Much of the data was required to show need for current and future funding opportunities. The survey also featured questions from the Evan's Riverside Master Plan in an effort to combine planning efforts.

The online survey was posted early on during the initial public outreach portion of the Master Planning process. Survey questions were offered in both English and Spanish and contained the following sections:

1. *General Background Information*
2. *City –Wide Recreational Needs*
3. *City-Wide Activities Interest*
4. *City-Wide Parks and Recreation Opinion Poll*
5. *Riverside Park Uses*
6. *Evans Riverside Current Use*
7. *Evans Riverside Future Use*
8. *Evans Riverside Legacy*
9. *Effective Advertising Methods*
10. *Final Thoughts*

There were 315 responses to the survey. In order to capture some of the key elements and themes that were identified in the free response sections of the survey, a word cloud was created (Figure 2.20). The larger the word appears in the cloud, the more prevalent it was in the survey responses.



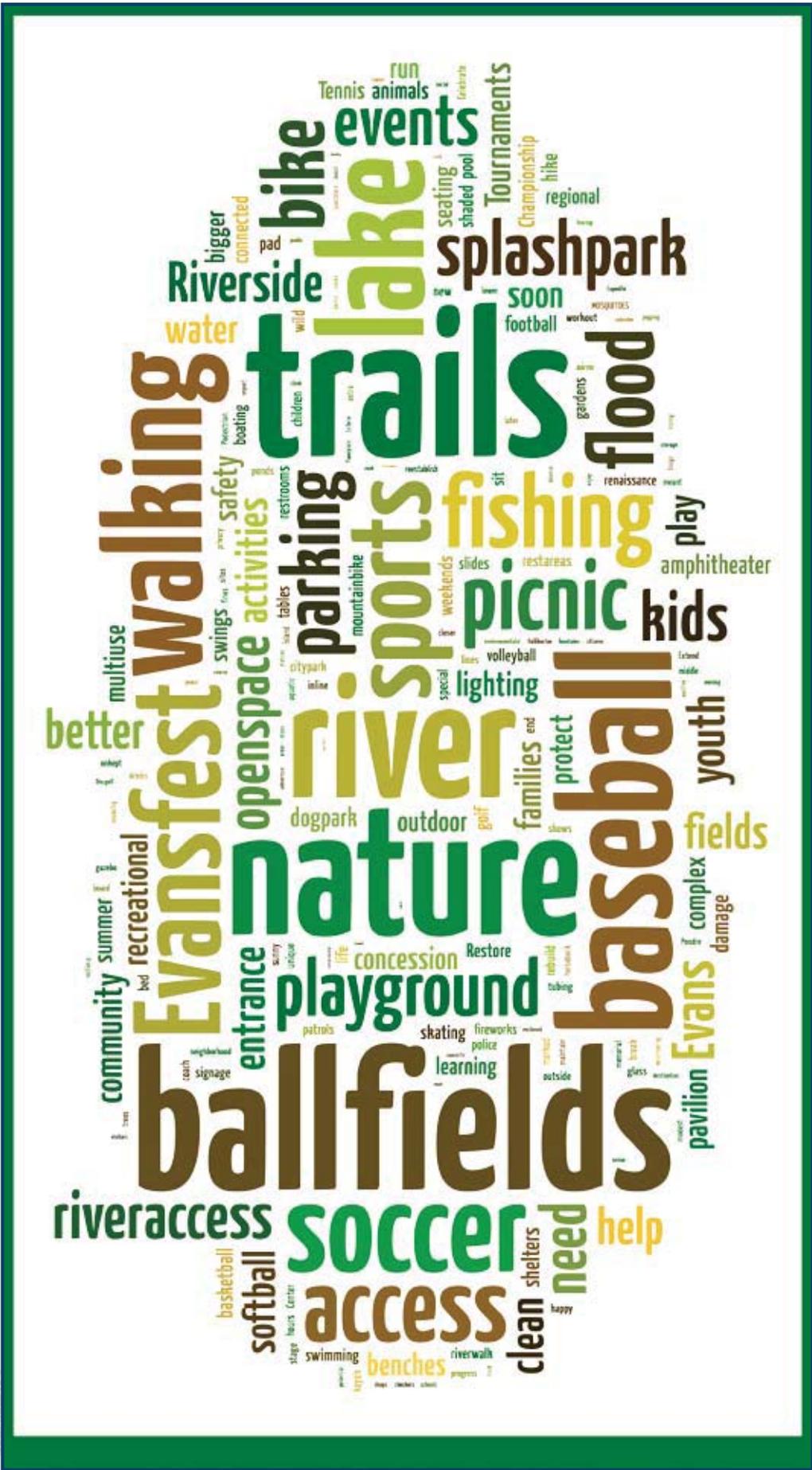


FIGURE 2.20 SURVEY WORDCLOUD

Given the fact that Riverside Park is a regional park, City staff and the Flood Recovery Task Force felt it was necessary to not only take input from the local community, but also from other interested citizens from around the region. Figure 2.21 and 2.22 illustrate the survey was successful in achieving that goal.

*WHAT CATEGORY BEST DESCRIBES YOU?*

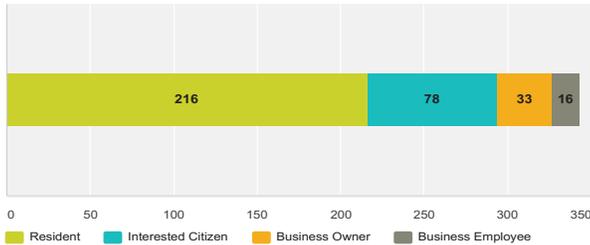


FIGURE 2.21

*WHAT PART OF THE COMMUNITY DO YOU LIVE IN?*

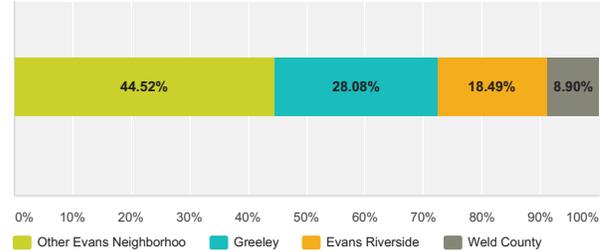


FIGURE 2.22

When considering the new design for Riverside Park, it was important to capture what the community felt it needed most, both from a parks standpoint and a community activities standpoint. Figures 2.23 and 2.24 demonstrate that although there is a need for more greenway, trails and open space, there is also a desire for more programmed sports and athletic events.

*BELOW IS A LIST OF INDOOR AND OUTDOOR FACILITIES PROGRAMS. PLEASE INDICATE WHICH OF THESE ACTIVITIES IS MOST NEEDED BY THE PEOPLE OF EVANS BY CHECKING EACH ACTIVITY AS NOT NEEDED, SLIGHTLY NEEDED, OR MOST NEEDED (TOP 3 ANSWERS SHOWN)*

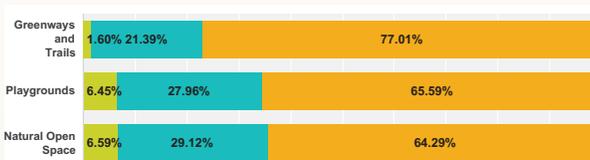


FIGURE 2.23

*WHICH THREE ACTIVITIES ARE MOST NEEDED IN THE CITY OF EVANS? (TOP 3 ANSWERS SHOWN)*

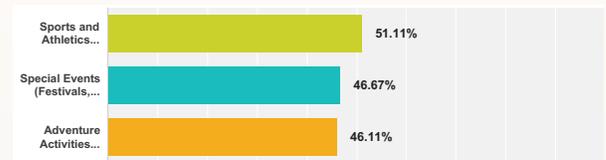


FIGURE 2.24

This sentiment is further demonstrated when respondents were directly asked whether recreational sports or open space should direct the design of the Park.

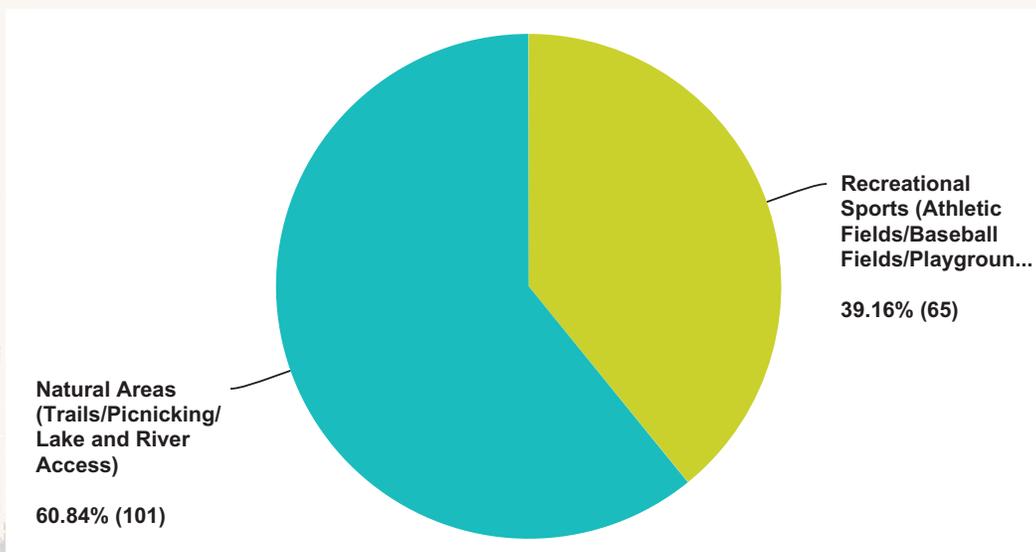


FIGURE 2.25

Given the division on Natural Areas and Recreational Sports, it was important for the City and consultant team to identify what amenities in the park were most used. The new design for the Park could then be oriented toward keeping the most used amenities, while improving or removing amenities that saw less use. Figure 2.25 illustrates which amenities were utilized most.

*WHAT AMENITIES DID YOU AND/OR YOUR FAMILY USE WHEN VISITING RIVERSIDE PARK?*

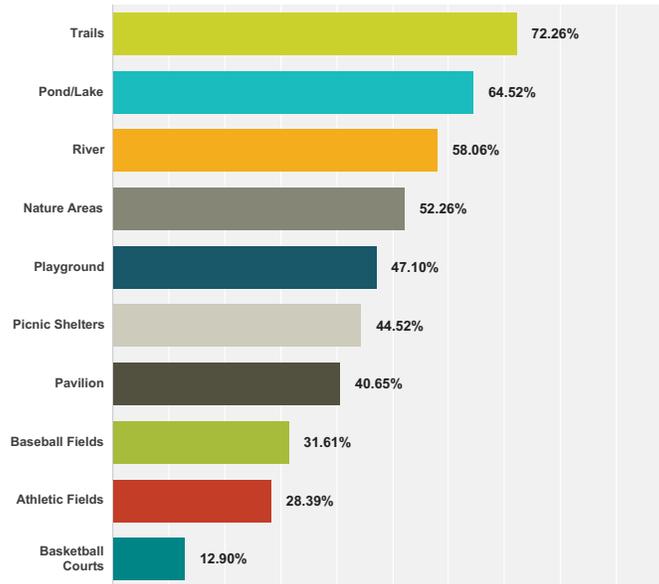


FIGURE 2.25

Some of the more critical information was captured in the survey open response section. This section allowed respondents to share any thoughts or concerns about the Riverside Park Master Plan that may not have been covered in the multiple choice questions. Some of the responses included:

*"I would like to see recreational water activities included as part of the Master Plan but above all make it safe for all who use it including helping protect the properties and future businesses from potential flooding."*

*"Rebuild the multi-use recreational trail that connects to other regional bike pathways/trails."*

*"Keep it simple, more walking path options, don't need high traffic things like baseball fields, soccer fields are ok, have it patrolled at all times, If it is closed at night, close it at night."*

*"Restore Riverside Park to the way it was."*

*"We would love to have more than just 4 fields rebuilt, or if only 4 that would be great too. We would use them a lot during our spring and summer months to run our youth events like we did last year!"*

*"I'd love to see gravel and dirt paths, rather than asphalt or concrete - natural surfacing is so much easier on my body when walking/hiking"*

*"Open space, don't want to take the chance of flooding again and damaging millions of dollars of infrastructure."*

*"GET IT BACK AS SOON AS POSSIBLE"*

*"Have more outdoor options - not just for sports."*

*"I really feel that a splash park needs to be incorporated into the park, not enclosed, but as a feature of the park."*

*"Change west entrance on 42nd street to a walk/bike entrance to allow the west side of the park to be the nature area. Put in driving entrance on 40 street as this is enters the park more centrally."*

*"Don't be cheap about it. Make it a destination spot for the region."*

These are but a few of the responses received; however, they show some of the information that helped shape the goals of the master plan as well some of the varying and sometimes conflicting opinions of survey respondents.



# CHAPTER III: PLANNING PROCESS

## PROJECT START-UP

After the September, 2013 flood event, the City of Evans' staff immediately began to explore opportunities to rebuild Riverside Park.

The first step was the preparation of FEMA Project Worksheets (PW) that documented and identified the damages and losses throughout the Park so the City could request federal funds for rebuilding efforts.

2 Project Worksheets were submitted:

### **PW 608**

Project Worksheet 608 was created for the trail system that ran along the berm separating the Park and the river. This worksheet was created with the assistance of HDR Engineering and all estimates were made prior to knowing the full extent of the buried debris and future changes in the berm's topography.

### **PW 997**

Project Worksheet 997 was created to address the infrastructure of the Park including structures, ballfields, playground equipment and several other items.

PW 997 was written as an alternative project; under FEMA's alternative project guidelines, the amount shown on the original Project Worksheet cannot be negotiated or changed, and is guaranteed pending FEMA review. The contents of the Park, however, can change as needed for the new design.

During this process, the City also applied for and received a \$100,000 grant from GOCO in order to hire a consultant to create the Master Plan for Riverside Park.

In order to ensure that the community had input on the process and to assist with multiple flood recovery effort throughout the City of Evans, a Flood Recovery Task Force was created. One of the Task Force's first responsibilities was to review proposals from qualified firms and select a consultant to use the GOCO grant and create the Riverside Park Master Plan. Upon selection of the preferred consultant, the Master Planning effort began.

## DATA GATHERING

In order to understand causes of the flood event and the opportunities and constraints facing the redesign and reconstruction of Riverside Park, the consultant team compiled and analyzed several reports and maps. The consultant team also created additional reports and maps to fill existing gaps in data.

Several reports and documents were reviewed by the consultant team including:

- FEMA Project Worksheets
- EPA Berm Study
- HDR Berm Report
- Atkins 2008 South Platte River Assessment
- City of Evans Flood Regulations
- Records of Environmental Concern
- CDBG-DR Notice of Intent letters and Applications
- Flood-Event Photographs
- City of Evans Open Space Master Plan
- City of Evans Parks, Trails and Recreation Master Plan

Additionally, the consultant team produced the following reports to supplement data on hand, including:

- Public Opinion Survey
- Riverside Park Post-Flood Engineering Assessment
- City of Evans Parks Inventory
- City of Evans Parks and Recreation Comparison Model

Utilizing the City and County's GIS mapping files and assessors database, combined with pre-and post flood imagery, this data was analyzed and used to create maps that illustrated:

- Pre-flood conditions
- Post-flood conditions
- South Platte River Hydraulics
- Current Floodplain
- Buried debris berm layout
- City of Evans parks location and amenities

These maps and reports formed the base for presenting the opportunities and constraints to the City and the community in a logical and transparent manner.

## PUBLIC FACILITATION

The public process had several different steps listed chronologically below:

### TASK FORCE MEETING

The initial process began with a meeting with the Flood Recovery Task Force. The Task Force represented concerned citizens and was used to assist the City and consultant team to plan, identify and bolster public involvement. The Task Force was instrumental in designing a strategy to achieve maximum community participation.

Items identified in the initial task force meeting included:

- *Dates and times of future Task Force Meetings*
- *Coordination of public events with the consultants' 3-day design workshop*
- *Identifying and reaching out to interested/concerned citizens and stakeholders*

Meetings with the Task Force continued throughout the process at major project milestones.

### ONLINE SURVEY

The online survey was used as a tool to gather quantifiable data from the community, while also allowing community members that could not attend the public meeting and events an outlet to voice their opinions and concerns.

The survey was posted for a duration of 4 weeks, beginning before the 3-day workshop and ending shortly thereafter. 315 individuals responded to the survey.

### 3-DAY DESIGN WORKSHOP

In an attempt to allow residents with varying schedules an opportunity to participate in the planning process, the consultant team organized a 3-day design workshop. The primary focus of this workshop was to develop 3 design alternatives to be evaluated and combined into a single preferred design. During the 3-day workshop, there were over 75 participants that contributed to the design concepts and 40 participants in the walking tours.

A flyer for the workshop was created and posted on the City's website, distributed to the neighborhoods surrounding the Park and displayed in other community meeting areas.

#### DAY 1:

Day one began the modeling of the 3 design alternatives. The consultant team provided boards with background information and maps to illustrate some of the current conditions, opportunities and constraints of the project. 2 landscape architects/designers were on site to take comments and incorporate them into each alternative.

The day also provided the opportunity for City staff and Task Force members to take a walking tour of the Park to assess the damage first-hand.



FIGURE 3.1 3-DAY PLANNING SESSION WORKSHOP

At the conclusion of the first day, the consultant team held a public meeting to provide project details and listen to input from the community. A power point presentation was given, followed by a question and answer session.

## DAY 2:

Day two featured more design refinement on the three alternatives. An additional site walking tour was held for community members that had signed up the previous day to visit the Park and share their thoughts and concerns.



FIGURE 3.2 RIVERSIDE PARK WALKING TOURS

At the conclusion of the second day, the three alternative designs were finalized and prepared for presentation at the Neighborhood Night Out.

The Neighborhood Night Out was organized by the Flood Recovery Task Force. It was held at City Park and featured food and games provided by the Task Force. At the event, the consultant team presented the three design options developed over the previous two days, and explained each of the alternatives, while taking input on what features from each concept were most liked.

## DAY 3:

Day three was the final day for the public to stop in and assist with refining the three design alternatives. One last walking tour was provided to members of the public who had signed up the previous two days.



FIGURE 3.3 EVANS NEIGHBORHOOD NIGHT OUT

## EVANSFEST

The consultant team was invited to participate in Evansfest, an annual event that up until recently was held at Riverside Park. The event featured food, games, a parade and multiple booths from varying local and community agencies. Evansfest was the first opportunity for residents and community members to see and react to the preferred design concept that came out of the 3-day design workshop and input from the online survey. The event was extremely successful and resulted in some great feedback that helped refine the preferred design concept, including:

- Access points and gates
- Recreation ideas and possibilities
- Ballfield concession options
- Playground uses and design

## LIBRARY OPENING

Toward the end of the design process, the new Evan's Library opened. Once again, the consultant team participated by presenting the finalized design concept. This event provided the community an opportunity to see the design that would be presented before City Council.

## FINAL TASK FORCE MEETING

Before presenting the final concept plan to City Council, the consultant team met with the Flood Recovery Task Force for a final time to hear all final concerns and answer any last questions. This meeting was conducted more as a public meeting and was more heavily advertised so that any other residents that had any additional thoughts or concerns could participate as well. The meeting was also used to explain the next steps of planning process and how some of the concerns voiced would be addressed further along in the process. Although some concerns remained about the protection of private property adjacent to the Park, the Task Force unanimously agreed to support the design for City Council approval.

## PLANNING PROCESS

At the 3-day Design Workshop, three design concept alternatives were developed. The designs were developed with the public, allowing public input to be immediately integrated into the designs. The three concepts offered a range of options concerning access, circulation, types of recreation and intensity of maintenance. The intent of presenting a variety of options was to garner feedback from the public in order to identify appropriate design criteria to develop a preferred alternative. All three options involved a re-grading of the site in order to ensure the new Park would comply with new flood plain development regulations and would be more flood resilient. The three design concept alternatives are shown and described below:

### OPTION A:

**Design Description:** Option A is the most similar to the existing layout of Riverside Park. All four ballfields are rebuilt in place, but grass outfield seating was added, along with head-in parking along the outfields of the two Eastern fields. In this option, Riverside Parkway is ungated and allows for unrestricted vehicular access through the Park and an additional vehicular access point was added along 40<sup>th</sup> Street. The entry point at 42<sup>nd</sup> Street remains open and parking is provided along Riverside Parkway as it moves further into the Park.

**Reception:** Overall, Option A was well received. There were strong feelings that all four ballfields should remain at Riverside Park and although some had mixed feelings about the outfield seating, most found it to be an interesting proposal. Many people did not like the on street parking between the Riverside Lake parking lot and the South Ballfield parking lot. The existing Park had a number of places where similar on-street parking was implemented and users felt that was a downfall of the previous design. Many people also felt that having part of Riverside Parkway gated to reduce traffic would be better than the unrestricted access shown in this option. Reaction to the added vehicular access point along 40<sup>th</sup> Street was mostly positive, although some felt this would be better as a gated temporary access point. Creating a pedestrian/bicycle connection along 40<sup>th</sup> Street was well received. The 4 ballfield complex in one location was preferred by league organizers. League organizers felt they would be willing to pay higher user fees for a four-plex. This might also allow the City to hire a full time maintenance person exclusively for the four-plex.



# STRATEGIC PLANNING SESSION OPTION A



# STRATEGIC PLANNING SESSION OPTION B

## OPTION B:

**Design Description:** Option B reduced the number of ballfields at Riverside Park to two; the intent is that the other two ballfields would be rebuilt at another site within the City. With the removal of two fields, the central gathering plaza is much larger. Both playgrounds and the basketball courts are located directly adjacent to this central gathering plaza. Vehicular access was kept to the existing two access points at Riverside Parkway and 42<sup>nd</sup> Street. Rather than allowing unrestricted vehicular circulation, each of the entries lead to round-a-bouts that are connected by a gated temporary access drive.

**Reception:** Reaction to only having two ballfields at Riverside Park was fairly negative. Most people felt Riverside Park was the appropriate place for a sports field complex because of its proximity to neighborhoods and downtown Evans. Most people also agreed that the City does need to rebuild all four ballfields and to split them up between two separate sites was not conducive to sports tournaments and leagues. There was some feedback that the central plaza did not need to be so big if there was to be only two ballfields. The gated temporary access was very well received and most people thought this was a very good solution to traffic and crime issues that were previously present in the Park. Again, many people did not like the on street parking between the Riverside Lake parking lot and the South Ballfield parking lot. A two ballfield complex does not generate enough user fees to support a full time maintenance person for the ballfields.





## OPTION C:

**Design Description:** Option C proposed a Park that was much more passive than the existing design. Rather than formalized sports fields, this option integrated a large 'central green' area that could fit a full-size soccer field, but was informal in shape. Plazas with structures and playgrounds bordered both sides of the green as it related to the parking areas. Part of this option was that all four ballfields would be rebuilt at a different location within the City. As in Option B, vehicular access was kept to the existing two access points at Riverside Parkway and 42<sup>nd</sup> Street. Unlike Option B, there is no connecting temporary access drive. This definitively splits up the vehicular access into North or West entrances.

**Reception:** Although many thought that Option C was an interesting alternative, they did not feel it was the appropriate design for the Park. There were very strong opinions that all four ballfields should be rebuilt at Riverside Park. This option did force people to consider more passive recreation uses for the Park. Almost everyone was very excited about the additional trails, river access, environmental play areas and native areas that this option highlighted.



# STRATEGIC PLANNING SESSION OPTION C



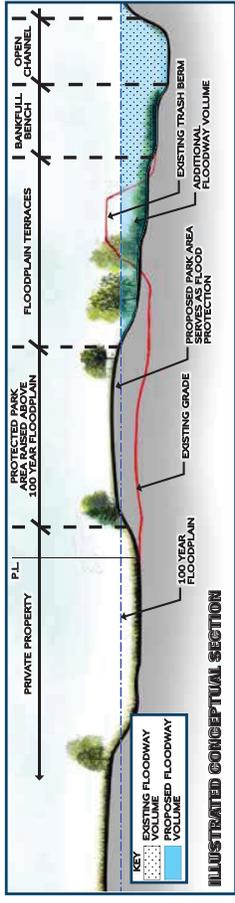






The following sections are written to provide a clear understanding of the various pieces of the Park and how they fit together to create the overall Master Plan:

## HYDRAULICS



The Riverside Park Master Plan's design is focused primarily around developing a more flood resilient park that protects its most valuable assets while creating passive recreation areas that can withstand flooding (examples shown in Figure 4.2). This is accomplished by removing the majority of the trash debris from the buried debris, lowering areas near the river, and raising the area of the park where active recreation requiring high-cost infrastructure will occur (Figure 4.1).



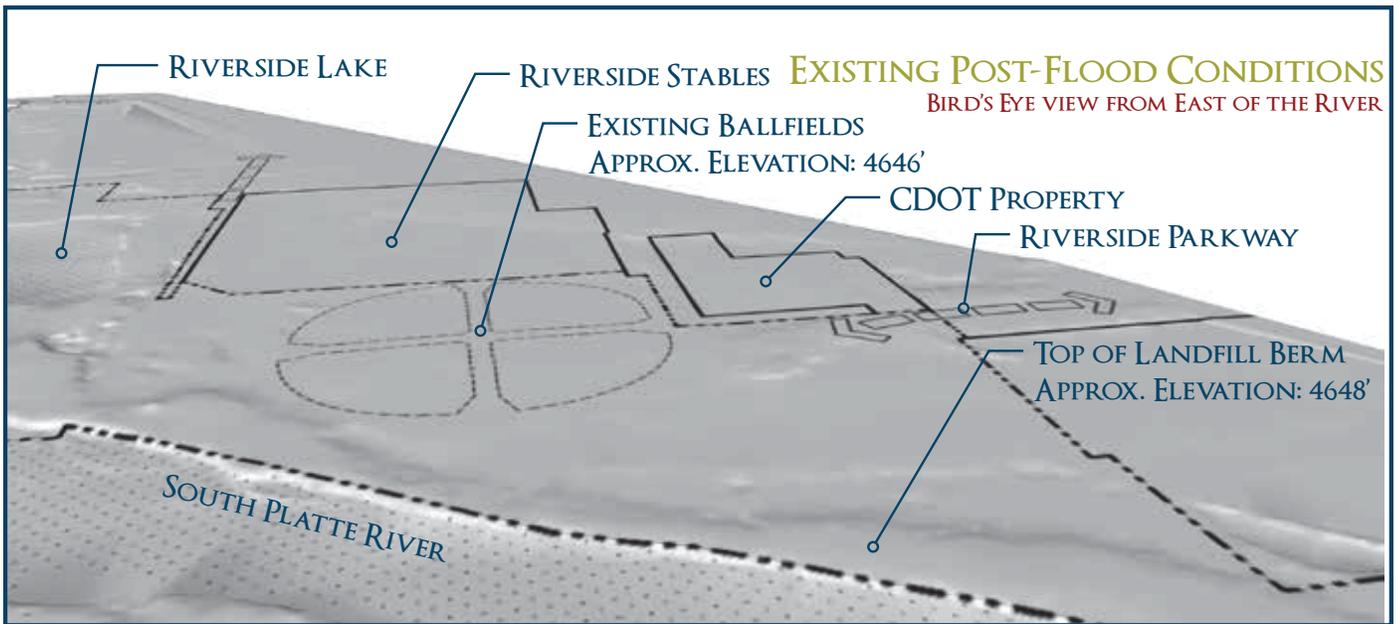


FIGURE 4.3 3D COMPARISON OF EXISTING VS. PROPOSED HYDRAULICS

In effect, this design relocates the protection of the buried debris berm further back from the river and increases flood protection as the proposed raised area will be composed of compacted soil rather than unstable trash debris. The existing (Figure 4.3) and proposed (Figure 4.4) grading of the Park are compared in the graphics on this page. The center of the ballfields (the highest point) is raised approximately 4-5' from existing, although this only results in a grade change of 12-18" at the edges of the fields.

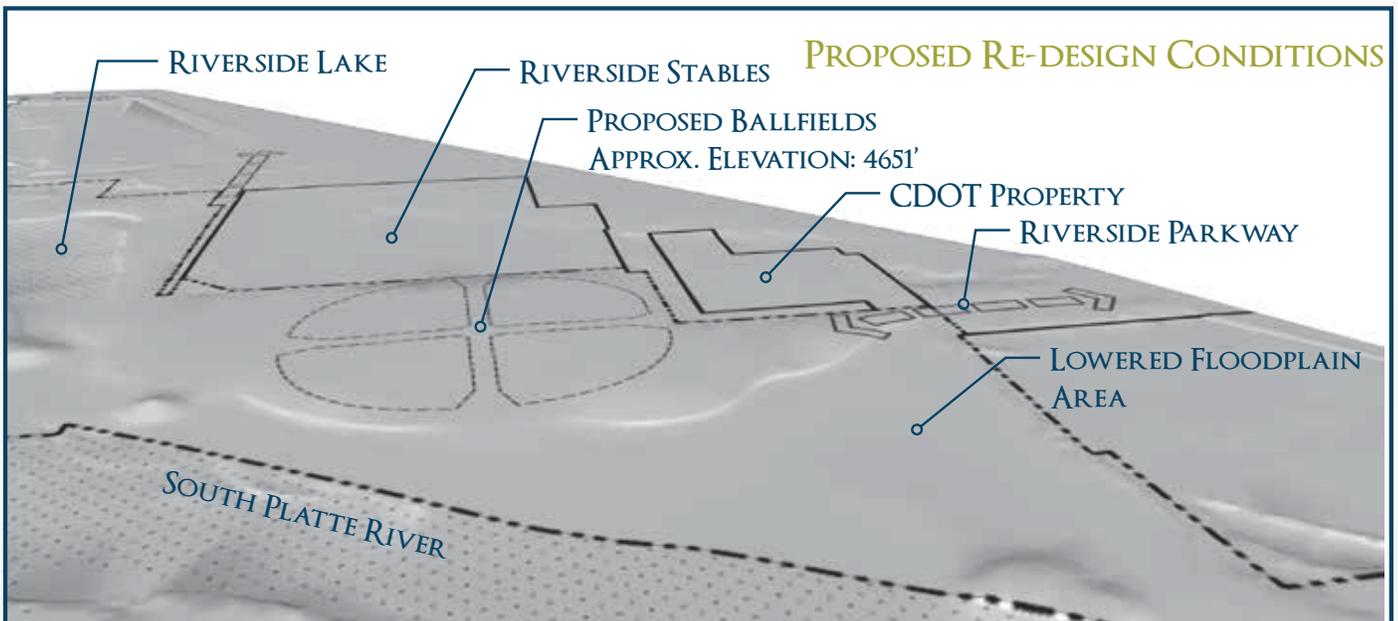


FIGURE 4.4 3D COMPARISON OF EXISTING VS. PROPOSED HYDRAULICS

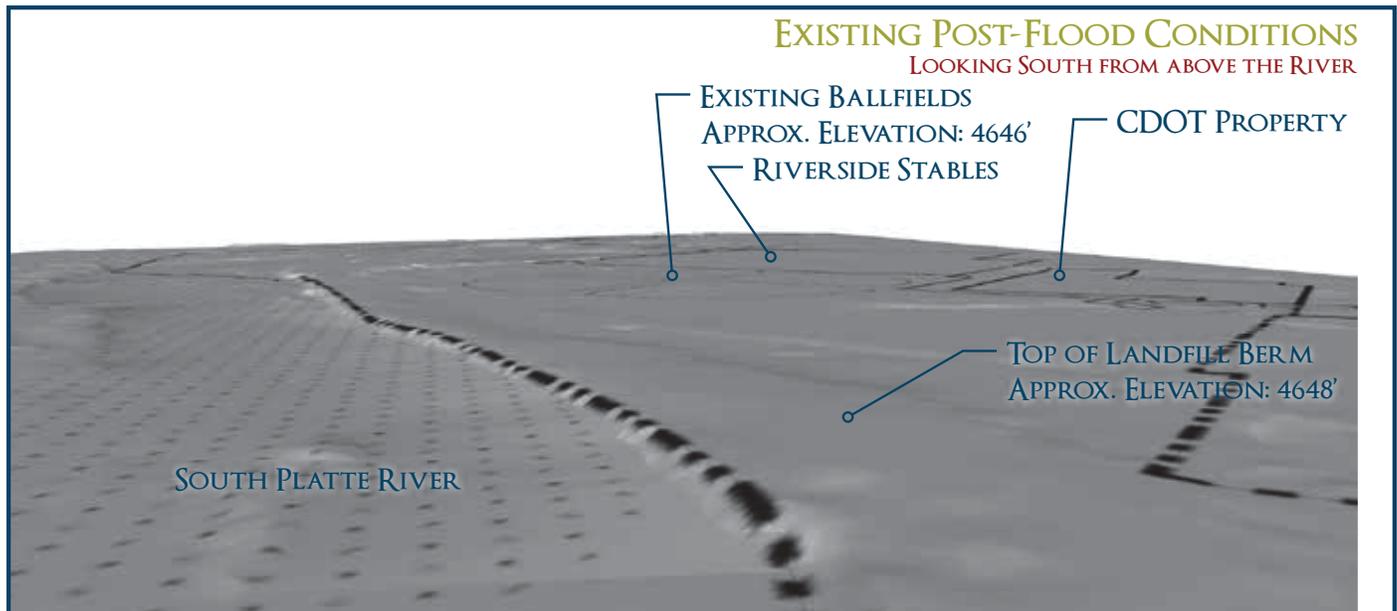


FIGURE 4.5 3D COMPARISON OF EXISTING VS. PROPOSED HYDRAULICS

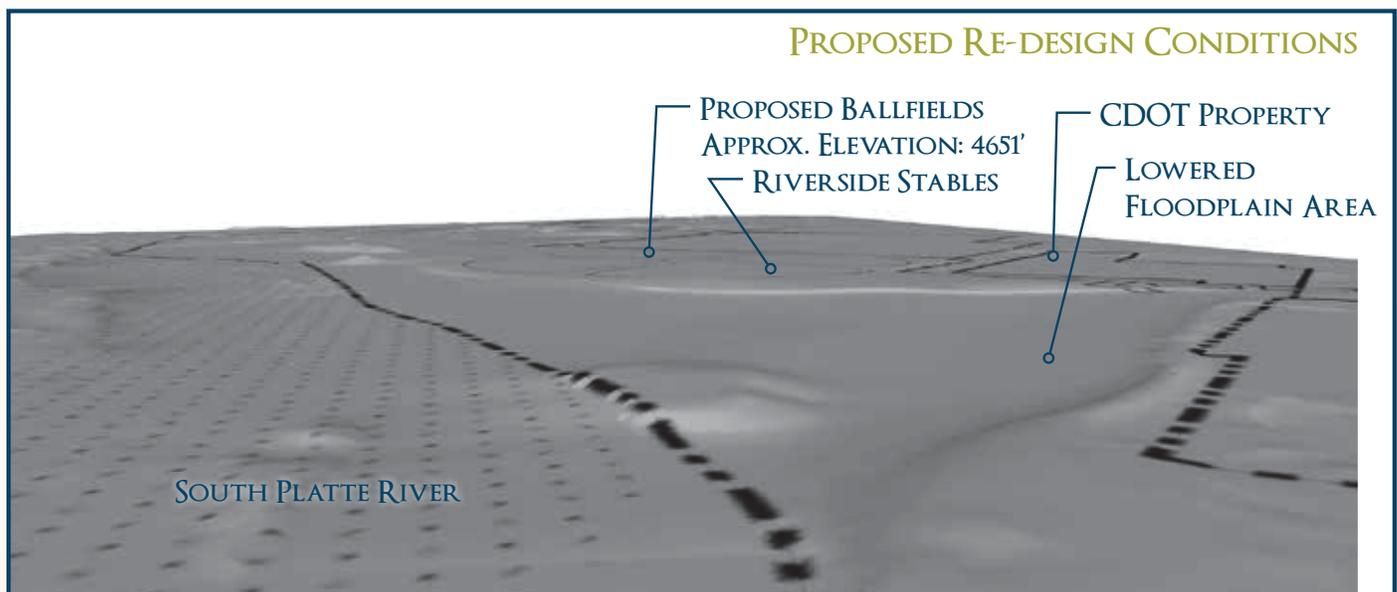


FIGURE 4.6 3D COMPARISON OF EXISTING VS. PROPOSED HYDRAULICS

This design approach allows flood waters to spread out in the lower areas of the Park, reducing flood water velocities and increasing the floodplain volume capacity within the Park property. Another hydraulic advantage of this approach is that by creating a break in the previously continuous berm, flood flows will now have a path to return to the river. Again, this is shown in the above graphics by comparing the existing grade (Figure 4.5) with the proposed grade (Figure 4.6).



It is anticipated that culverts will be required in multiple locations. The first location is under Riverside Parkway just to the North of the North parking lot. This culvert will allow water from the properties to the West to drain into the low wetland areas to the East and North of the parking lot and, eventually, back to the river. Most likely, there will also need to be a culvert near the Southwest corner of the South ballfield parking lot. If a culvert is needed here, it should incorporate a flap-gate in order to lessen the likelihood of flood waters backing up from Riverside Lake onto the Riverside Stables property. Both of these culvert locations are shown in Figures 4.7 and 4.8. These figures compare the path of flood flows of the existing landforms with the flood flows resulting from the proposed grading changes. In Figure 4.7, the existing buried debris berm blocks flood waters from returning to the river. In Figure 4.8, the removal of the berm allows flood waters to return to the river without obstruction. The raised area directly to the North of Riverside Lake also directs flood flows back towards the river rather than into neighboring properties. The flood arrows across Riverside Stables and the CDOT property mostly represent rainfall directly onto those properties. If, however, there was an extremely large flood event in which the flows breached the raised areas and continued onto private property (such as Riverside Stables), the proposed grading of the lower areas of the Park, combined with the culverts, allow the flood flows to proceed to the river rather than being trapped and inundating the properties.

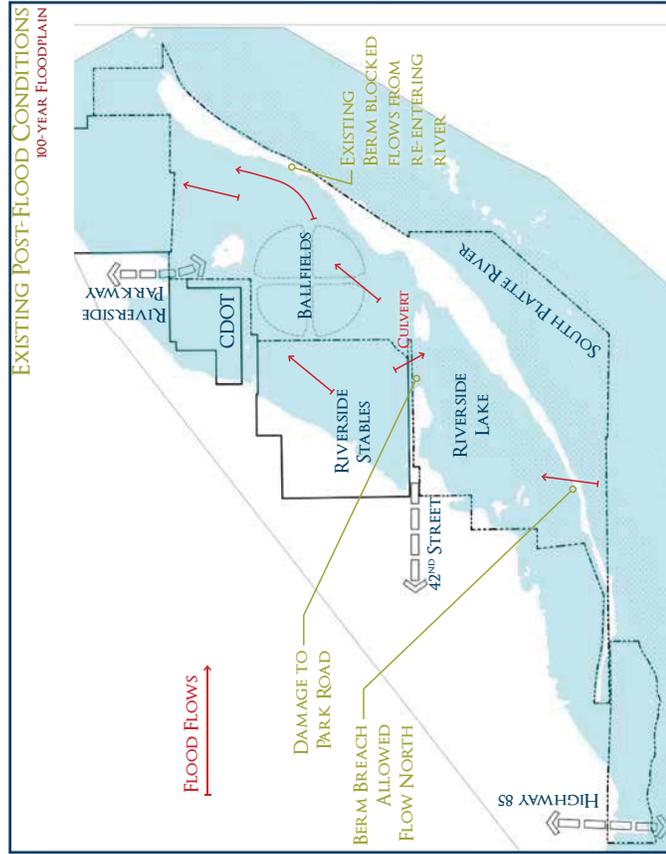


FIGURE 4.7 EXISTING PATHS OF FLOOD FLOWS

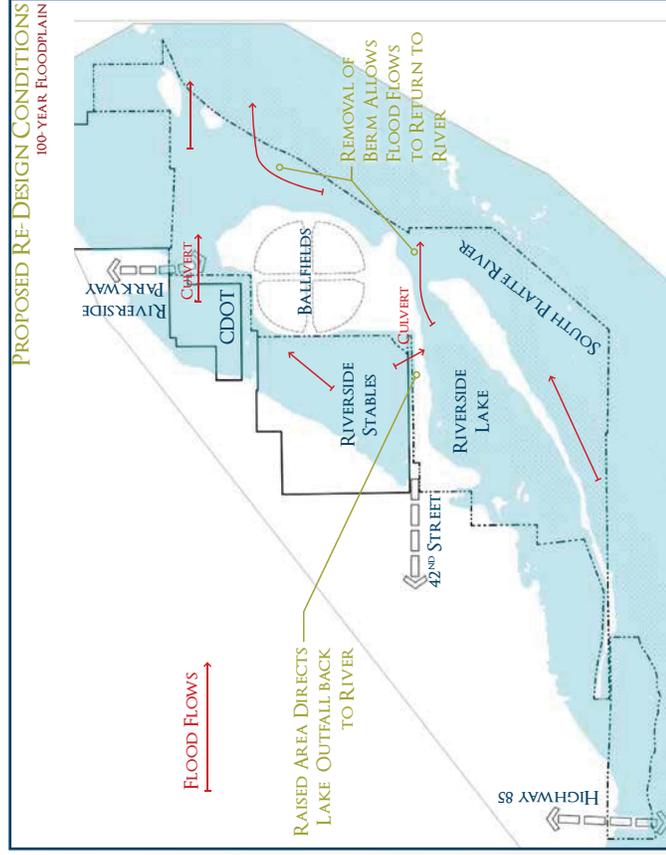
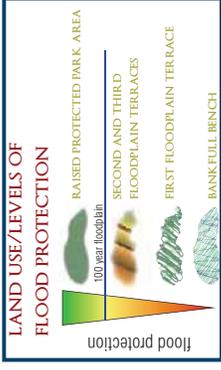


FIGURE 4.8 PROPOSED PATHS OF FLOOD FLOWS

# FLOOD FLOWS COMPARISONS

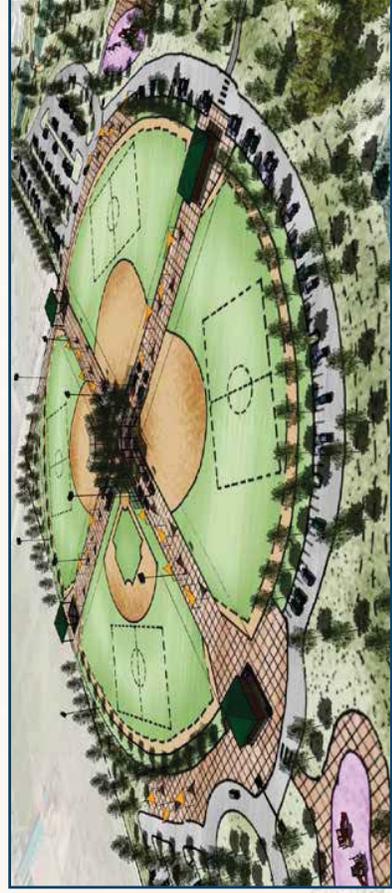
## CONCEPTUAL USE AREAS

The Riverside Park Master Plan separates the Park into several areas on a conceptual level based on intended activities. These intended activities relate directly to the required infrastructure and, therefore, relate directly to the levels of flood protection described earlier. For example, the ballfields provide a very active form of recreation. They also require some of the most expensive infrastructure such as light poles, concession and restroom buildings and large areas of paving. In order to protect these areas from flood damage as well as to accommodate the maximum amount of year-round usage, they are incorporated into the raised portion of the park.



The conceptual use areas of the proposed Park are (shown in Figure 4.10):

- **PROTECTED PARK AREA:** This portion of the Park is raised up out of the 100 year floodplain and encompasses the ballfield four-plex, main plaza with concessions and restroom buildings, the primary access roads and all three parking lots. The two formal playgrounds are also within this raised area. One of the playgrounds is intended to be for younger children, and the other is intended to be designed for elementary age children. This area of the Park provides the highest intensity of activities and requires the most maintenance. Permanent structures such as shade pavilions, light poles and tensite shade structures are located within this area. This location is necessary to comply with current floodplain development regulations that require structures to be above the 100-year floodplain.



# CONCEPTUAL USE AREAS PLAN

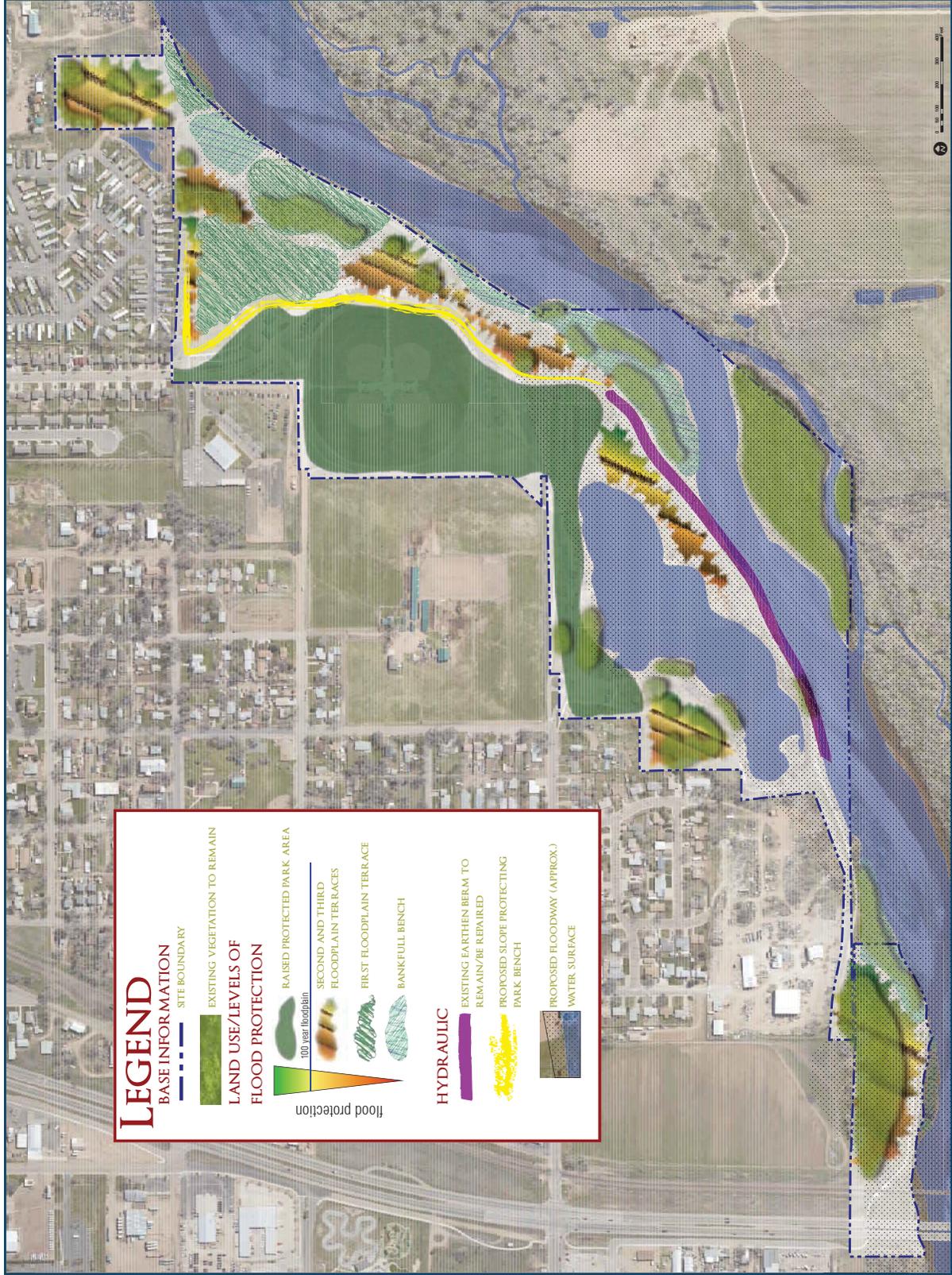


FIGURE 4-10 CONCEPTUAL USE AREAS PLAN

**NATURAL FLOODPLAIN TERRACES:** Figure 4.11 is a cross-section of the South Platte River which identifies the natural floodplain terraces found on Western rivers like the South Platte River. The concept of this park Master Plan is to reconstruct these natural terraces and associated plant communities to develop a more sustainable open space along the river. The following paragraphs describe the First, Second, and Third Floodplain Terraces, as well as the Bankfull Benches.

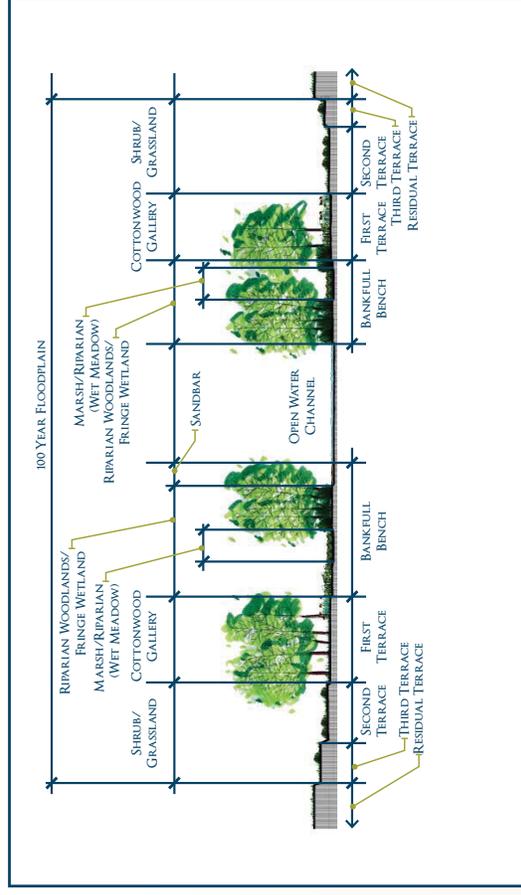


FIGURE 4.11 TYPICAL SOUTH PLATTE RIVER CROSS-SECTION

- THE SECOND AND THIRD FLOODPLAIN TERRACES:** These terraced areas separate the raised protected area from the lower areas that are intended to be flooded. The terraces are within the 100-year floodplain and are not intended to have extensive infrastructure in order to necessitate the desired activities. Activities within these areas are more passive and include walking/jogging, bird-watching and picnicking. Vegetation within these areas include shrubs and native grasses. Maintenance within the terraces is much less than the protected park area. Periodical mowing may be required, possibly 1-2 times per year. Alternatively, the City could leave these areas unmowed and focus the maintenance on the trails and focal points.



FIGURE 4.12 3D AERIAL VIEW OF PROPOSED WATER QUALITY AREAS AND FLOODPLAIN TERRACES TRANSITIONING TO RAISED BALLFIELD AREA

- THE FIRST FLOODPLAIN TERRACE:** These areas will become inundated with the five to ten year flood events. They are designed to flood more often than the floodplain terraces as they are lower in elevation. Again, activities are passive and include walking/jogging and bird-watching. However, there are more opportunities within these areas to create environmental play areas in which children can experience varying ecosystems up-close. Vegetation in these areas consist of native grasses but also contain more riparian species because the water table is closer to the surface. Maintenance within these areas is minimal and similar to that of the maintenance in the Floodplain Terraces. There are already a number of existing Cottonwood galleries (shown as existing vegetation in Figure 4.10), many of which are at the appropriate elevation. These Cottonwood galleries are in ‘holes’ that the berm was built up around and as the buried debris is removed and the area is re-graded, it is the intent of the Master Plan that many of these trees can remain in place.



FIGURE 4.13 3D AERIAL VIEW OF PROPOSED PARK LOOKING EAST OVER RIVERSIDE LAKE

- **BANKFULL BENCH:** The Bankfull Benches are the areas closest to the river and are the lowest areas within the Park. When the river is flowing high, these benches will be wet and possibly even inundated. In one and two year flood events, the water will inundate these areas and continue into the Water Quality areas. Vegetation within the Bankfull Benches is primarily riparian and wetland grasses, rushes and sedges. These species can survive and thrive here because of the proximity to the river and the water table. River access points are primarily within the Bankfull Benches. Maintenance within these areas is minimal, consisting primarily of weed management during establishment and then debris and trash removal after flood events. The vegetation will be self-sustaining requiring no maintenance.



FIGURE 4.14 EXAMPLE OF A HEALTHY STREAM WITH A WIDE FLOODPLAIN



## CIRCULATION, ACCESS AND CONNECTIONS

While the main vehicular access points for the Park remain along Riverside Parkway from the North and 42<sup>nd</sup> Street from the South/West, the Master Plan does not provide constant vehicular access through the Park. Instead, the center piece of the through-road has gates so that the City can restrict traffic moving through the Park. This is in an effort to both reduce high speeds within the Park and to guide visitors more directly to their destinations. The Master Plan also incorporates a temporary vehicular access to the Park along 40<sup>th</sup> Street. The intent of this access is emergency access for large events. Site access is shown in Figure 4.15.

Pedestrian/bicycle access along 40<sup>th</sup> Street connects the Park to City Park and the Riverside Cultural Center. A central walkway leading directly into the baseball complex connects the Park to Riverside Parkway. Additionally, park access along the South Platte River to the South under State Highway 85 will remain.

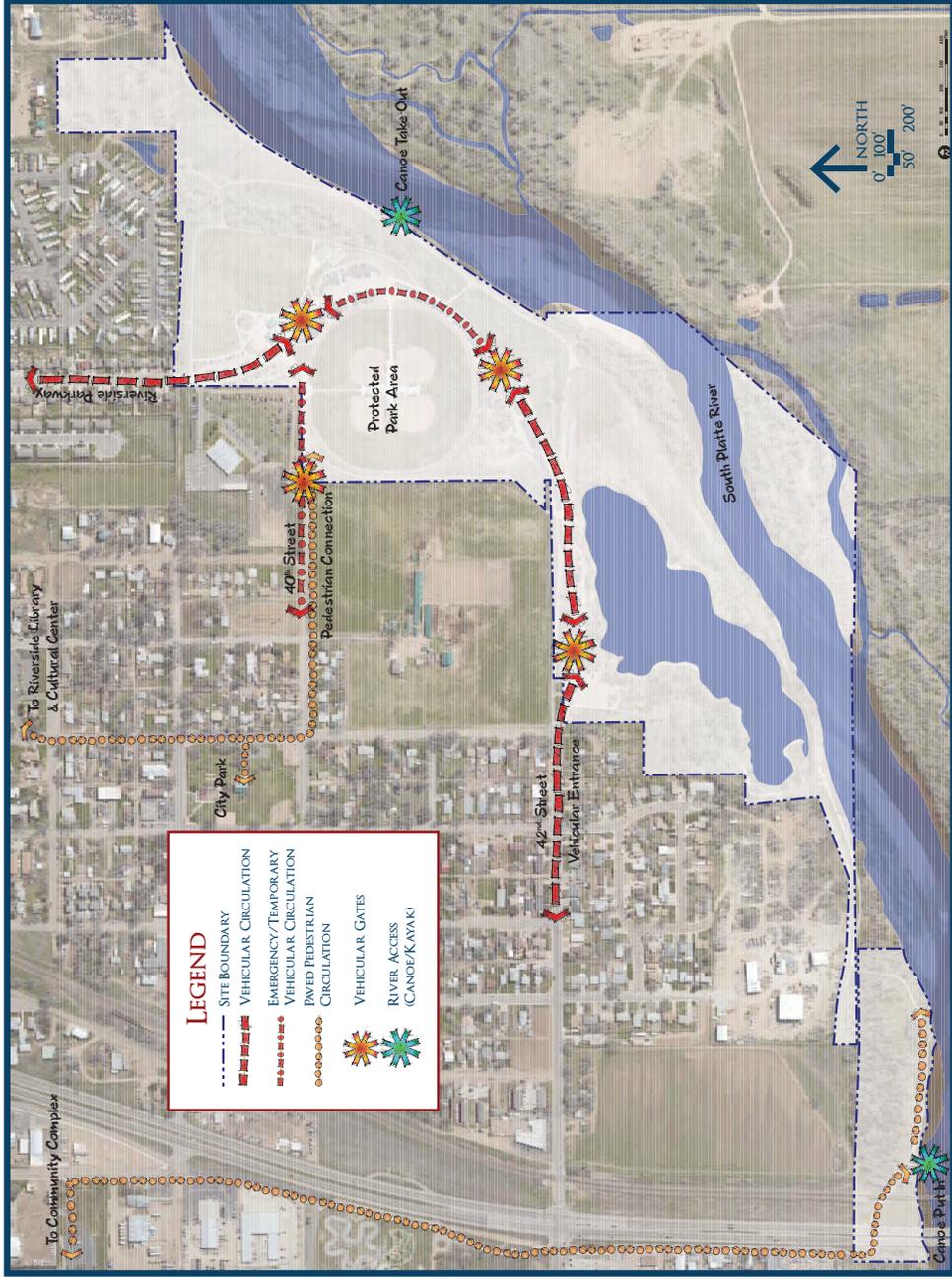


FIGURE 4.15 SITE ACCESS DIAGRAM

During the planning process, there was interest expressed in creating two canoe/kayak access points. The most likely spots for this are directly to the East of Highway 85 for a put-in, and to the East/North of the ballfields, as shown in Figure 4.15. The put-in East of State Highway 85 is already used informally for river access and has a direct pedestrian connection to parking on the West side of Highway 85. The take-out makes sense hydraulically because the water will direct boaters towards the shore in this area.



FIGURE 4.16 EXAMPLE KAYAK DOCKS



In an effort to reduce unlawful activities stemming from night-time access to the park, an option to have gated entries was developed. This option still allows 24 hour access to parts of the Park that are more likely to be used lawfully in evening or early morning hours, such as Riverside Lake.

Pedestrian/bicycle circulation within the Park is addressed through a hierarchy of trails as shown in Figure 4.17. Within the protected active recreation areas, all pedestrian circulation is paved and centers around the main ballfield complex. Facilities are located within the large walks at the outer edges of the fields. This is in contrast to the prior configuration, in which spectator facilities were located in the center of the complex. In addition to the facilities being located near the outfields, the Master Plan also incorporates grass seating areas outside the outfields and head-in parking along the Eastern two fields to accommodate spectators from vehicles.



# SITE CIRCULATION DIAGRAM

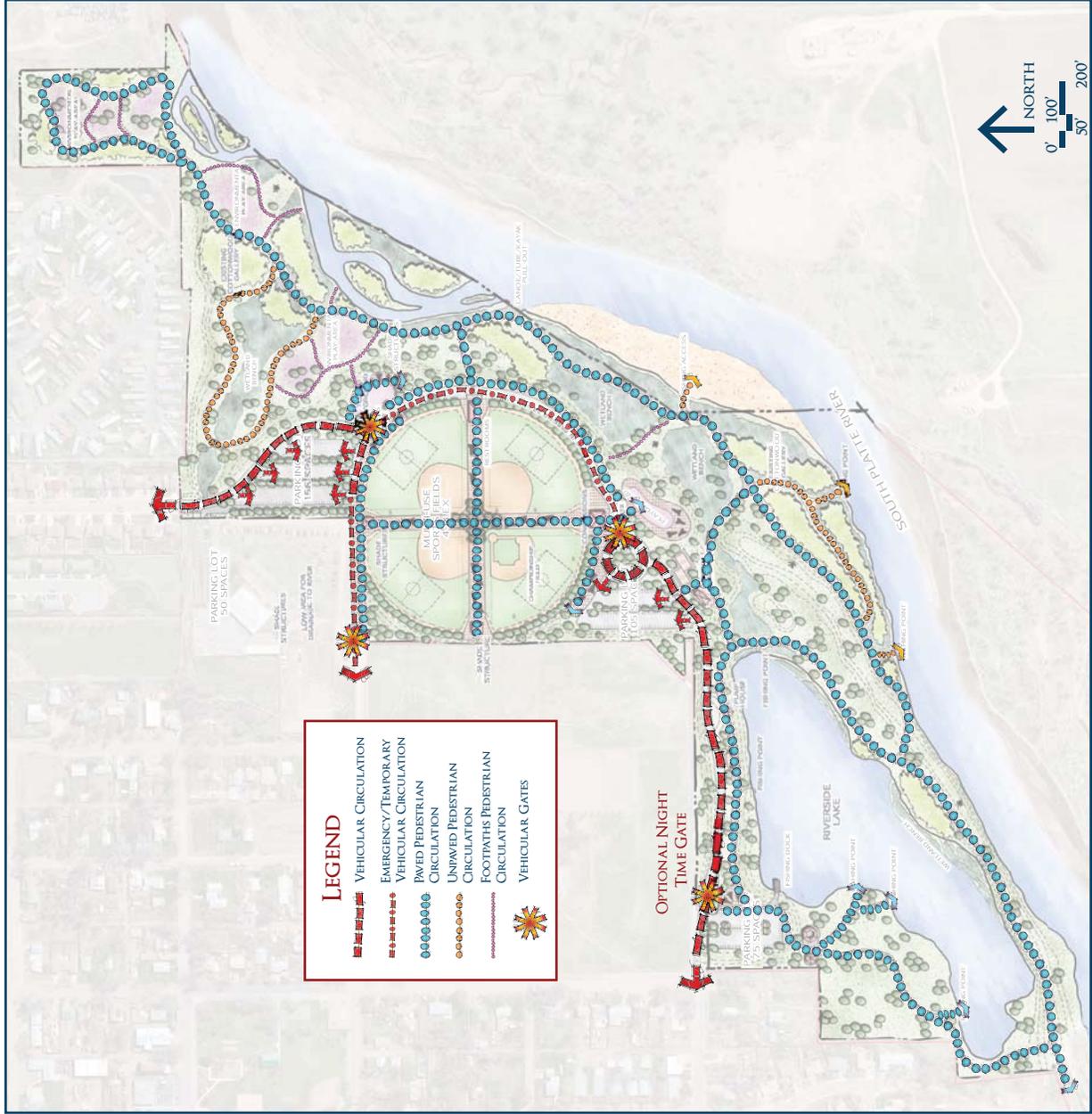


FIGURE 4-17 SITE CIRCULATION DIAGRAM

The major walks between the fields lead to secondary walks connecting other areas of the Park to the main complex. These connections include both playgrounds, parking areas, the basketball courts and multiple connections to the passive recreation areas. Trails within the passive recreation areas fall into three hierarchical categories: paved 10' wide trails, unpaved crusher fines trails and footpaths. The paved 10' wide trails are main connections and are intended to be ADA accessible trails serving as primary circulation paths. The unpaved crusher fines trails are less formal and either create connections to specific places (such as fishing points) or form loops that allow the visitors to experience varying ecosystems within the Park. The footpaths are very informal and are intended to give visitors a sense of discovery and adventure. Because these footpaths are extremely low maintenance and are easy to create, they have the ability to change and move over time. The 10' wide paved trail running parallel with the South Platte River will be H20 standard rated to allow XcelEnergy Maintenance vehicles to access the transmission poles.

## STRUCTURE AESTHETICS



FIGURE 4.18 TENSILE FABRIC SHELTER EXAMPLE

Throughout the planning process, it was apparent that the structures for Riverside Park should be affordable but should also be reflective of a facility that draws regional visitors and is a cherished amenity to the community. Also, participants from the community in the workshops and the community survey identified the need for more shade. One strategy for achieving these goals is to utilize tensile fabric shade structures that can be easily constructed by a general contractor (Figures 4.18 and 4.19). The fabric for these shelters can be heavy duty in order to sustain snow loads if the project budget allows for it. If the budget does not allow for this, the fabric can be of a lighter duty and the City should be instructed to take down the fabric during winter months. In either scenario, the fabric should be UV resistant in order to lengthen their life-span.



FIGURE 4.19 TENSILE FABRIC SHELTER EXAMPLES



During the Master Planning process, some of the Task Force members had a particular interest in a fireplace/swing structure that was similar to pergolas in construction and appearance. Figure 4.20 is an example of one of these structures. This particular one includes a fire pit in the middle, surrounded by swing benches.



FIGURE 4.20 SWING PERGOLA EXAMPLE REQUESTED BY TASK FORCE MEMBERS

Concerning the more permanent structures such as restrooms, concessions, permanent shade structures and maintenance buildings, the Master Plan recommends pre-fabricated or CMU block buildings in order to conserve budget. To meet aesthetic goals, these structures should have additional adornments/architectural detailing such as stone or faux-stone columns, wood-paneled ceilings in shelters, etc.



FIGURE 4.21 EXAMPLES OF CONCESSIONS AND MAINTENANCE BUILDINGS



FIGURE 4.22 EXAMPLES OF ENVIRONMENTAL PLAY AREAS

The Riverside Park Master Plan designates certain areas as Environmental Play Areas. These areas are intended to be discovery parks where children can interact with nature. Possible play structures in these areas could include logs, rocks, steppers, etc. These structures could be glass-fiber reinforced concrete (GFRC) or they could be natural materials. The advantage of them being natural materials is that they could be designed to wash away in major flood events without causing a large loss of invested money. Another advantage of natural materials is that these structures can easily be rearranged to create new play areas. If they are GFRC, they should be anchored in place in order to withstand flood events. Additionally, areas will be created to allow children to access sand, mud and water in safe side-channels to the South Platte River.



FIGURE 4.23 EXAMPLES OF ENVIRONMENTAL PLAY AREAS

## UTILITIES

The September, 2013 floods did considerable damage to Riverside Park's utility infrastructure. Although the ballfield light poles are intact and reusable in place, the electrical work for the Park needs to be removed and replaced. The new electrical system should, of course, be in alignment with the Master Plan. The irrigation pump needs to be replaced. The pumphouse needs some minor repairs such as new paint and cleaning. New dark sky cut-off fixtures should be considered for the ballfields to minimize light pollution into adjacent neighborhoods.

Currently, the City of Evans Fire Department uses the lake for training and pumps water from the lake to charge their fire fighting equipment. To accommodate this activity, the Master Plan includes an unpaved access road to the lake near the Pump House. The material could be stabilized crusher fines. This is shown in Figure 4.24 as dashed lines leading to the pumphouse.

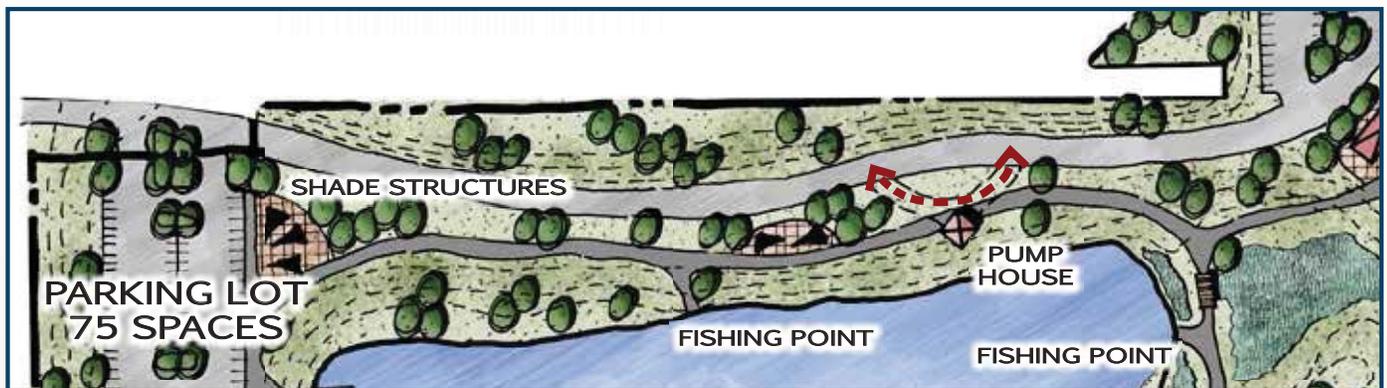


FIGURE 4.24 PLAN VIEW OF FIRE DEPARTMENT ACCESS TO PUMPHOUSE

Additionally, there is a natural gas line (approx. 4" diameter) within the buried debris berm. This line needs to be relocated as a part of the buried debris removal stage of the project. The relocation should be planned in order to not conflict with the Park Master Plan.

Xcel Energy owns several large overhead transmission poles (Figure 4.25) within a utility easement that runs along the Eastern edge of the Park. Xcel Energy has approved the overall concept of lowering certain parts of the park to reconnect the river with the floodplain, however the poles must remain in place. The intent of the Master Plan is for grading activities to remain away from the power poles. If, however, grading activities come within a 50' radius of the poles, Xcel requires that the area be regraded so that there is a 30' radius of

ground flat enough to set up bucket trucks around the pole. Although this is the requirement, many of the poles do not currently have this preferred 30' radius. Because of this, the recommendation is to discuss any issues with Xcel as the final grading design is developed.



FIGURE 4.25 EXISTING XCEL TRANSMISSION TOWERS AT RIVERSIDE PARK

## RESTORING PREVIOUS PARK FUNCTIONS

All previous park functions are being restored within the Riverside Park Master Plan with the exception of a full size soccer field. The City mainly utilizes smaller youth soccer fields that the Master Plan does account for in the outfield of the baseball ballfields. In order to completely restore all functions of the previous Park, the Master Plan recommends that the City renovate the sod at Prairie View Park in order to use it as a full-size soccer field.



FIGURE 4.26 EXISTING FIELD AT PRAIRIE VIEW PARK

## UPDATED USER ESTIMATES

Since there was not any statistical or empirical data about the Park's usage that existed prior to the September, 2013 flood event, estimating how much the new design for Riverside Park will increase the Park's usage is difficult. However, even if such data did exist, multiple variables have changed as a result of the floods. For example, the mobile home park that was adjacent to the Park was completely destroyed and will not be rebuilt. The relocation of these households, as well as other nearby households, directly affects the daily users of the Park.

As part of the online survey, data was collected to help guide the design of the Park to increase the Park's usage. To illustrate the key points that might lead to an increase in the Park's usage, its best to break users into two groups: Athletic Recreation Users and Passive Recreation Users.

### ATHLETIC RECREATION USERS

Athletic Recreation Users are those that use the baseball fields, recreational fields and basketball courts. This user group was identified as being the most deficient user group of the Park, holding the bottom three responses to the survey question "What amenities did you and/or your family use when visiting Riverside Park?"

- 32% Ballfields
- 28% Recreational Fields
- 13% Basketball Courts

This theme was confirmed when respondents to the survey identified Sports and Athletics (51%) as the most needed activities in the City of Evans.

Although the baseball fields receive the most use, the lack of restroom and concessions limit the organizations willing to hold tournaments at Riverside Park. Similarly, the recreation fields are all different sizes and lack adequate restroom and concession facilities. The basketball courts suffer from lack of exposure, as they are placed away from all other active recreational uses of the Park.

The new design of the park addresses the ballfield issues by creating a ballfield complex that will be capable of hosting Triple Crown events. Many baseball and softball coaches and organizations have already shown an interest in hosting events at Riverside Park. However, they are tentative to commit to a contract until the reconstruction of the Park is completed. All four fields will be the same size, allowing for easier tournament organization and programming.

The proposed design would also relocate the basketball courts, moving them closer to other active recreation areas of the Park, creating easier access and increased visibility.

## **PASSIVE RECREATION USERS**

Passive Recreation Users are defined as those that primarily use the trails, river and fishing pond and picnic areas.

The results of the online survey identified this group as the most active user group inside of Riverside Park. However, to increase their use of other Riverside Park amenities, respondents to the survey also expressed an interest in adding both more trails (79%) and better river access and egress points for boating activities (55%).

The proposed plan for Riverside Park accomplishes both of these tasks by not only replacing the current trail, but also adding several sections of new trail, some of which provide easier access to the river. Additionally, two canoe/kayak pull-out docks have been proposed.

While these changes and improvements cannot quantifiably measure how much they will increase user levels for Riverside Park, they were all made with input from the community who are the primary users of the park. These improvements should increase interest in using Riverside Park for passive recreation purposes.



## MAINTENANCE REQUIREMENTS

The desire to create a park that could be efficiently maintained was one of the primary goals of the new design for Riverside Park.

Maintaining 4 full-sized baseball fields and 3 multi-purpose recreation fields, as well as other general park maintenance created a substantial burden on the Parks and Recreation staff.

According to the City's Parks and Recreation staff, Riverside Park required approximately 90 maintenance hours per week. Maintenance duties included:

- *MOWING (10 HOURS)*
- *FIELD PREPARATION (30 HOURS)*
- *TRASH CLEANUP AND REMOVAL (35 HOURS)*
- *IRRIGATION (10 HOURS)*
- *SPRAYING (2 HOURS)*

As previously discussed in Chapter 2, the City of Evans has a smaller Parks and Recreation staff than most similar sized community. The maintenance hours required to upkeep Riverside Park were difficult to accommodate, and Parks staff found themselves struggling to maintain the integrity of the ballfields and recreation fields, many times performing maintenance only prior to scheduled events.

The new design of Riverside Park will lower maintenance hours and costs in the following ways:

### OPEN SPACE AND TRAILS

The new design increases the amount of natural open space throughout the park. Natural areas are easy to maintain, as native vegetation requires little or no maintenance. The new trail that will be installed along the South Platte River will be constructed from concrete according to the City's requirements, eliminating the asphalt trail that deteriorates more easily and is less flood resilient. The additional soft surface trails spread throughout the wetland banks will also require very little maintenance given the natural design and materials.

## BALLFIELDS AND RECREATION FIELDS

In order to increase the natural open space areas along the river, the recreation fields at Riverside Park will be incorporated into the outfields of the ballfields. By combining the fields, the amount of turf maintenance required for field upkeep drops dramatically by decreasing the amount of mowing, field preparation work and irrigation required. These 3 tasks accounted for 50 hours of maintenance a week. Assuming that maintenance hours for these tasks are decreased by 30%, the Parks and Recreation staff would save 780 maintenance hours per year.

Additionally, once construction on Riverside Park is completed there will be an initial period when maintenance requirements to structures, trails, roads and parking lots will be very minimal given the young age of the parks infrastructure. This period should allow the City of Evans and Riverside Park enough time to seek interested sports recreation leagues that would like to sign contracts for programmed events and tournaments. Once interested leagues have started hosting their events at Riverside Park, the additional funds can be used to assist with park maintenance by adding personnel, further relieving the maintenance burden on the Parks and Recreation staff.



# CHAPTER V: IMPLEMENTATION

## PROJECTED COST ESTIMATES

In order to give the City of Evans a better understanding of the cost of the proposed Master Plan design, THK Associates prepared the following projected cost estimates. Because the original FEMA Project Worksheet was created with the intent to restore the Park to pre-flood conditions, the cost for the proposed Master Plan design is greater than what was accounted for in the project cost worksheet. With this in mind, the cost estimate categorizes line items have been divided into 5 different potential projects:

- *FEMA Project Worksheet #997 Riverside Park*
- *Add Alternates*
- *FEMA Project Worksheet #608 Trails*
- *Buried Debris Removal*
- *Riverside Park Enhancements*

The cost estimate includes a 30% contingency which should be viewed as a high-end estimate. The 30% contingency is to account for items such as construction cost inflation, unforeseen costs and items that simply aren't accounted for at a Master Plan level. Ideally, as the plan is refined through preliminary and final design, opportunities to reduce costs through design solutions will be brought forward.

Because there is Federal funding involved, it is possible that the contractor will have to adhere to Davis-Bacon Federal wages. This is included as 5-10% of the 30% contingency. If Davis-Bacon is not required, the contingency could be lowered to 20-25%.

Certain cost estimate line items overlap in multiple projects. For example, although the Master Plan includes re-grading of much of the site, a large portion of this grading is a direct result of removing the buried debris. This is especially true in the case of bringing in off-site fill. While the Master Plan does raise a portion of the Park, it also lowers other portions of the park. The soil from the cut areas can be used as the fill for the raised areas. However, the removal of the buried debris leaves holes that will need to be filled in with suitable fill. For this reason, the cost estimate splits the site grading and off-site fill numbers between PW #997 Riverside Park and the Buried Debris Removal. The clear/grub and strip/stockpile existing topsoil line items are split with 70% of funding coming from PW 997 and 30% coming from the buried debris removal funding source. This 70/30 split is an approximation that will need to be better defined as the Park design is further developed and refined.



# PROJECTED COST ESTIMATES, CONTINUED

City of Evans Park Master Plan 12/12/2014 Master Plan Cost Estimate	Size	Unit	Quantity	Unit Cost	Total	PW 997 Riverside Park	Add Alternates	PW 608 Trails	Buried Debris Removal	Additional Park Enhancements
Balfield Warning Track	3" depth	SF	29,247	\$3.00	\$87,741.00	\$87,741.00				
Balfield Turf		SF	234,640	\$0.75	\$175,980.00	\$175,980.00				
Balfield Backstops and Bases		LS	1	\$18,000.00	\$18,000.00	\$18,000.00				
Balfield Fencing		LS	1	\$198,120.00	\$198,120.00	\$198,120.00				
Dugout Roofs*		EA	8	\$5,500.00	\$44,000.00	\$44,000.00				\$ 33,000.00
Balfield Bleachers*		EA	8	\$2,500.00	\$20,000.00	\$7,500.00				\$ 12,500.00
Sail Shade Structures		EA	37	\$4,000.00	\$148,000.00	\$148,000.00				\$ 148,000.00
Play Area #1		EA	1	\$100,000.00	\$100,000.00	\$100,000.00				\$ 100,000.00
Environmental Playgrounds		EA	3	\$50,000.00	\$150,000.00	\$150,000.00				\$ 150,000.00
Fishing Points @ Pond		EA	3	\$5,000.00	\$15,000.00	\$15,000.00				\$ 1,000.00
Fishing Points @ River		EA	2	\$5,000.00	\$10,000.00	\$10,000.00				\$ 1,000.00
Fishing Dock at Pond	40x10	EA	1	\$55,000.00	\$55,000.00	\$55,000.00				\$ 55,000.00
Low Water Crossings		EA	7	\$10,000.00	\$70,000.00	\$70,000.00				\$ 70,000.00
<b>Subtotal</b>					<b>\$1,300,109.89</b>					
<b>Landscape Improvements</b>										
Soil Prep (Irrigated Turf)	4 cubic yards per 1000 SF	SF	263,662	\$0.35	\$92,281.70	\$92,281.70				
Irrigated Sod		SF	29,022	\$0.75	\$21,766.50	\$21,766.50				
Native Seed		SF	922,671	\$0.17	\$156,854.07	\$156,854.07				\$156,854.07
Riparian Seed		SF	324,558	\$0.39	\$126,577.62	\$126,577.62				\$126,577.62
Park Trees	2" Dec/6' Ever.	EA	566	\$600.00	\$339,600.00	\$339,600.00				\$ 339,600.00
Irrigation (Turf Areas)		SF	263,662	\$1.10	\$290,028.20	\$290,028.20				
Irrigation Trees		EA	566	\$85.00	\$48,110.00	\$48,110.00				\$48,110.00
Irrigation Pump		EA	1	\$180,000.00	\$180,000.00	\$180,000.00				
<b>Subtotal</b>					<b>\$1,255,218.09</b>					
<b>Site Amenities</b>										
Benches		EA	10	\$8,000.00	\$8,000.00	\$8,000.00				\$ 4,000.00
Trash Receptacles		EA	6	\$3,600.00	\$3,600.00	\$3,600.00				
Recycle Containers		EA	8	\$6,000.00	\$4,800.00	\$4,800.00				\$ 4,800.00
Picnic Tables w/ concrete pads		EA	4	\$4,000.00	\$4,000.00	\$4,000.00				\$ 2,000.00
<b>Subtotal</b>					<b>\$20,400.00</b>					
<b>Miscellaneous</b>										
Electrical		LS	1	\$352,900.00	\$352,900.00	\$352,900.00				
Replace Perimeter Fencing		LF	1,521	\$30.00	\$45,630.00	\$45,630.00				
Street and Parking Signs		EA	10	\$3,500.00	\$35,000.00	\$35,000.00				
<b>Subtotal</b>					<b>\$402,030.00</b>					
<b>Design and Engineering</b>										
Buried Debris Design, Engineering, and CA		LS	1	\$30,000.00	\$30,000.00	\$30,000.00			\$30,000.00	
Riverside Park Environmental Studies		LS	1	\$200,000.00	\$200,000.00	\$200,000.00	\$20,000.00	\$20,000.00		\$40,000.00
Riverside Park Design, Engineering, and CA		LS	1	\$300,000.00	\$400,000.00	\$400,000.00	\$240,000.00	\$40,000.00		\$80,000.00
<b>Subtotal</b>					<b>\$630,000.00</b>					
<b>Total</b>					<b>\$13,003,477.32</b>	<b>\$5,600,275.58</b>	<b>\$803,568.00</b>	<b>\$706,950.00</b>	<b>\$4,196,199.35</b>	<b>\$1,696,484.39</b>
<b>Total + 30% Contingency**</b>										
<b>on all non-design/engineering items</b>					<b>\$16,715,520.52</b>	<b>\$7,172,358.25</b>	<b>\$1,026,638.40</b>	<b>\$901,035.00</b>	<b>\$5,446,059.16</b>	<b>\$2,169,429.71</b>
* Denotes items that are being replaced instead of being cleaned/repaired.										
**Contingency includes Davis-Bacon wages, which can vary from 1.3-1.6 times normal labor cost, equating to 5-10% of total project cost.										
**No contingency is added to Design and Engineering line items.										

# PROJECTED COST ESTIMATES

## FUNDING SHORTFALLS

As was previously discussed, the funding from Project Worksheet #997 is not great enough to fund the construction of the entire Riverside Park Master Plan. The funding shortfalls are as follows:

### 1. BASE PARK DESIGN (PROJECT WORKSHEET #667) SHORTFALLS:

In order to provide the City with as complete of a Park as possible with the \$5.6 million from Project Worksheet #997, certain line items were selected as add alternates for the base Park design. The hope is that these items can be included in the \$5.6 million, but if the construction bids for the base Park design surpass the \$5.6 million, these items can be implemented as part of the Additional Park Enhancements scope of work.

One of these add alternates is Parking Area #3, the parking lot near Riverside Lake. If this add alternate cannot be funded in the base \$5.6 million, the existing dirt parking lot shall be integrated into the design. The ballfield plaza pavement was split between the base funding and the add alternates category; the intent is that less used portions of the plaza would be installed as unpaved areas (such as crusher fines) if the full plaza cannot be funded with the base funding.

In addition, the design and engineering fees established in Project Worksheet #997 are not adequate for the anticipated scope of work for redesigning the Park. This is partially because the Project Worksheet was only anticipating repairing the Park in place. It would also appear that there was no budget anticipated for environmental studies, permitting fees or construction management. The CEF Total Project Summary (Figure 5.2) shows that only a budget of \$161,694 was anticipated for architecture and engineering design fees. Again, part of this discrepancy is likely due to the fact that the Master Plan is proposing improving the overall Park rather than rebuilding the Park to pre-flood conditions.

CEF Total Project Summary			
Summary			
Erieville City of - Riverside Park Facility			
Item	Quantity	Unit Price	Total
<b>PART A - New Capacity for Construction (667) Items</b>			
A.1	1	\$0.00	\$0.00
A.2	1	\$5,600,000	\$5,600,000
<b>PART B - General Requirements and General Conditions</b>			
B.1	1	\$1,000,000	\$1,000,000
B.2	1	\$1,000,000	\$1,000,000
B.3	1	\$1,000,000	\$1,000,000
<b>PART C - Construction Cost Contingency (667) Items</b>			
C.1	1	\$1,000,000	\$1,000,000
C.2	1	\$1,000,000	\$1,000,000
C.3	1	\$1,000,000	\$1,000,000
C.4	1	\$1,000,000	\$1,000,000
<b>PART D - General Construction (997) Items</b>			
D.1	1	\$1,000,000	\$1,000,000
D.2	1	\$1,000,000	\$1,000,000
D.3	1	\$1,000,000	\$1,000,000
<b>PART E - Construction Allowance</b>			
E.1	1	\$1,000,000	\$1,000,000
<b>PART F - Park Name and Construction Permit Costs</b>			
F.1	1	\$1,000,000	\$1,000,000
F.2	1	\$1,000,000	\$1,000,000
<b>PART G - Additional Materials for Construction</b>			
G.1	1	\$1,000,000	\$1,000,000
G.2	1	\$1,000,000	\$1,000,000
G.3	1	\$1,000,000	\$1,000,000
G.4	1	\$1,000,000	\$1,000,000
<b>Complete Project Total for Completed and Uncompleted Park</b>			
			\$161,694

FIGURE 5.2. PROJECT WORKSHEET #997 CEF

## 2. TRAILS PROJECT WORKSHEET #608 SHORTFALLS:

FEMA Project Worksheet #608 was originally written to repair and replace portions of the trails through Riverside Park that were damaged. Because much of the trail is on top of the buried debris berm and the buried debris material has subsequently swelled and shrunk, the entire trail needs to be replaced. The existing trail was only 8'-0" wide and to meet current City standards, the new trail must be built at 10'-0" wide.



FIGURE 5.3 TRAIL DAMAGE DUE TO SWELLING OF BURIED DEBRIS MATERIAL

The consultant team and the City met with FEMA and State representatives on October 22, 2014 to discuss the overall cost estimates and spoke in detail about these circumstances that will cause the actual cost of construction to be greater than the costs anticipated in Project Worksheet #608. The general consensus was that Project Worksheet #608 is a standard FEMA project and as long as procurement guidelines are followed, the full cost of the reconstruction of the main concrete trails should be funded. It should be noted, however, that the Project Worksheet will need to be re-written with new line items and quantities as a part of following the procurement guidelines.



FIGURE 5.4 TRAIL DAMAGE DUE TO SWELLING OF BURIED DEBRIS MATERIAL

### 3. BURIED DEBRIS REMOVAL SHORTFALLS:

The removal of the buried debris berm is a cost that was not reflected in either of the FEMA Project Worksheets and therefore is a funding shortfall. This is a complex issue, especially when combined with the overall redesign of the Park. These cost estimates were completed with the assumption that the entirety of the buried debris material would be removed and disposed off-site. The philosophy behind this is that complete removal would be the most expensive option and ideally these costs can be reduced as the design is refined. In reality, there may be options to only remove parts of the buried debris and stabilize and cap other parts. This should be fully explored in the Buried Debris Removal Strategies implementation step (explained fully in the [Implementation Steps](#) section).

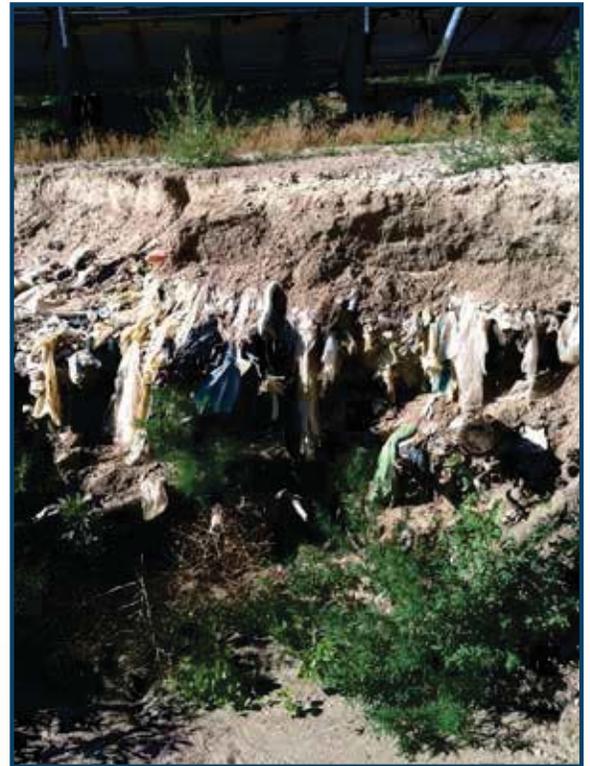


FIGURE 5.5 LAYERS OF BURIED DEBRIS DEBRIS

The cost for complete removal of the buried debris material ranges from approx. \$4.1 million to \$5.3 million.



FIGURE 5.6 BURIED DEBRIS DEBRIS UNCOVERED BY THE FLOODS

#### 4. ADDITIONAL PARK ENHANCEMENTS:

Items that the consultant team felt were new park features not covered in Project Worksheet #997 were separated into the Additional Park Enhancements project. For example, the Project Worksheet only accounted for replacing two dugout roofs because the other six could be cleaned and repaired. However, the redesign of the Park would require all eight dugout roofs to be replaced (because they need to be rebuilt at a higher elevation). To define this in the cost estimates, two new dugout roofs were accounted for in the PW 997 funding project and the remaining six dugout roofs were separated into the Park Enhancements project. Similar separations were done for the ballfield bleachers, park benches and picnic tables. Since the existing Park only had one playground, the second playground was separated into the Park Enhancements project.

Any add alternates from the base Park project that cannot be accommodated in the \$5.6 million budget (as previously discussed) should be included in this project as Additional Park Enhancements.



# IMPLEMENTATION STEPS

The Riverside Park Master Plan is a very complex project with many moving pieces that require multiple funding sources and consultants. The Master Plan recommends the schedule and accompanying implementation steps described below:

## 1. CONDUCT ADDITIONAL BURIED DEBRIS STUDIES

*PROJECTED SCHEDULE - 4 MONTHS*

*CONSULTANT SERVICES RECOMMENDED - GEOTECHNICAL ENGINEER,  
LANDSCAPE ARCHITECT*

*\*THROUGH THE STUDIES DESCRIBED BELOW, IT WAS DETERMINED THAT THIS STEP  
WAS NOT NECESSARY TO PROCEED WITH THE PARK PROJECT.*

Prior to the beginning of the Master Planning effort but after the 2013 floods, the Environmental Protection Agency contracted Weston Solutions to conduct an on-site study and evaluation of the buried debris. The purpose of this study was to determine the composition of the debris as well as the extent of it. The EPA study (full report can be found in Appendix B under separate cover) determined that there were no hazardous waste materials present and it also defined the approximate area and depth of the buried debris. This was completed by digging multiple test pits and trenches, drilling core samples and by conducting a EM-31 Electromagnetic Induction (EMI) survey. The deepest that any buried debris material was discovered was approximately 14-15' below the existing ground surface. At public facilitation meetings, however, concern arose from some attendees who, based upon local knowledge, were under the impression that the buried debris was much deeper. In order to assure the City has the most accurate approximation of the scope of the buried debris, it was decided to further investigate the current studies.

During this investigation, the City provided information that the EMI study only detects to a maximum depth of 20', which increased concern over the original report conducted by Weston Solutions. The consultant team reviewed the report in more detail, discussed the procedures used with the Weston Solutions team and interviewed a third-party geotechnical engineer to gain a second opinion. The result of these investigations is outlined below:

- *In all of the on-site studies, no buried debris material was encountered greater than 14-15' below the ground surface.*



# IMPLEMENTATION SCHEDULE

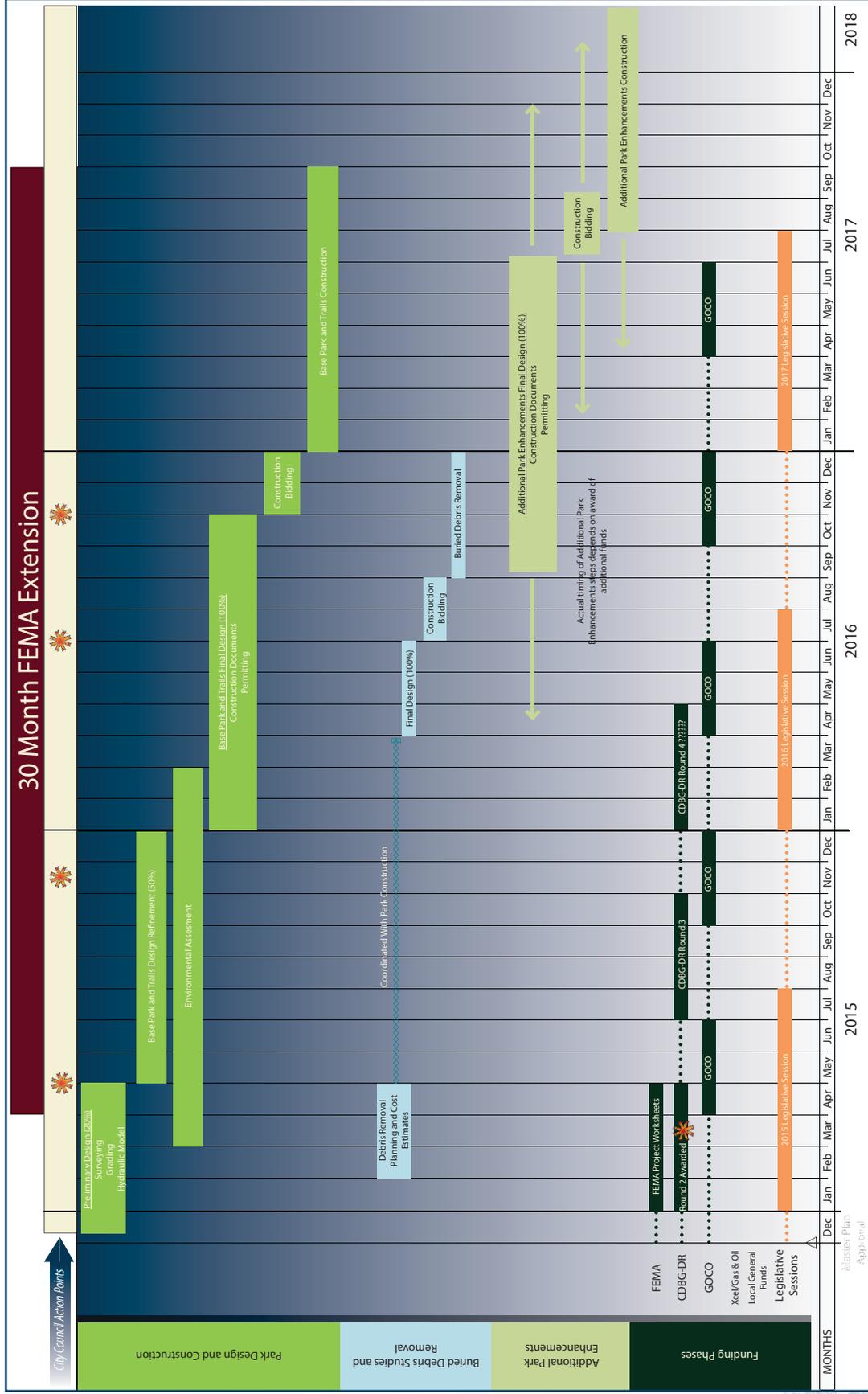


FIGURE E-7 PROJECT IMPLEMENTATION SCHEDULE

- In all test pits/trenches/core drillings where buried debris material was encountered, excavation/drilling continued until another substrate was encountered (water, sandy soil, etc.).
- The EMI test method did in fact only measure to a maximum depth of 20', but this method was chosen and deemed acceptable because no buried debris material was encountered deeper than 14-15'.
- The EMI results shown in Figure 5.8 were misleading because of how the data was categorized. The deepest category of buried debris material was defined as 10-20' deep not because material was detected up to 20', but rather because material was detected deeper than 10' and the max. depth of the study was 20'.

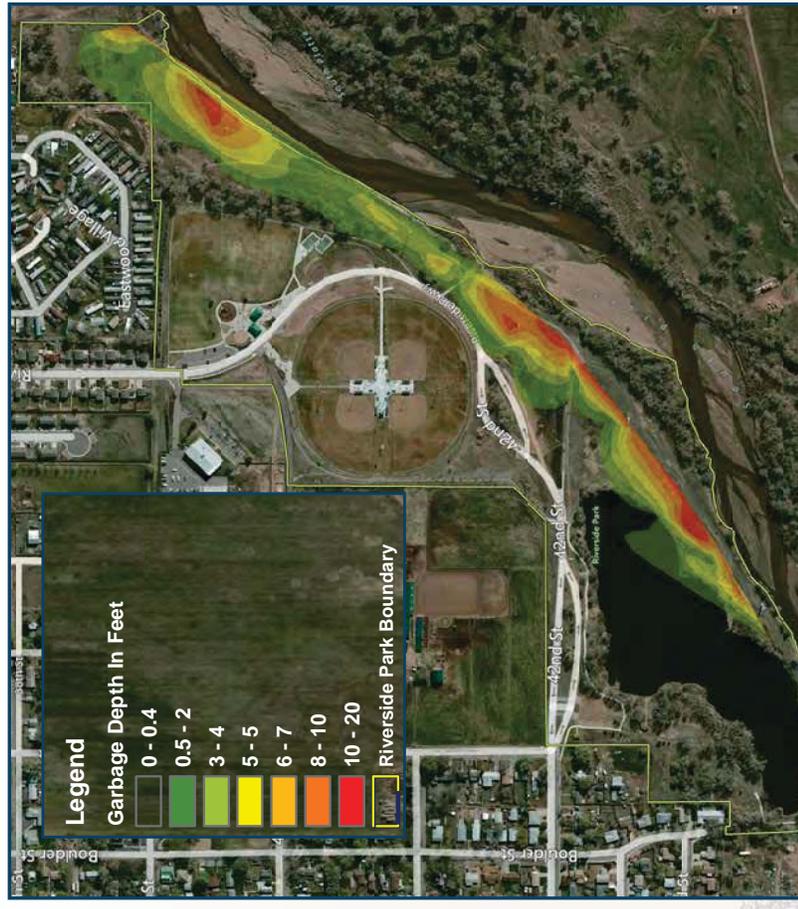


FIGURE 5.8 EMI SURVEY FROM EPA REPORT

- *The third party geotechnical engineer felt that the Weston Solutions study provided more than enough data and would not recommend additional studies. They felt that they could interpret the data into subterranean cross-sections to provide a more complete picture of the extent of the buried debris material.*

Based on these findings, the consultant team evaluated whether the subterranean cross-sections were necessary in order to continue with planning strategies for the removal of the buried debris material. Based largely on the input of the geotechnical, hydraulic and structural engineers on the consultant team, it was deemed that these studies were an unnecessary step that created additional cost and time to the project. Therefore, this step was not included on the list of recommended implementation steps.

## **2. PRELIMINARY PARK DESIGN:**

***PROJECTED SCHEDULE - 5 MONTHS, JANUARY 2015-MAY 2015***

***CONSULTANT SERVICES RECOMMENDED - LANDSCAPE ARCHITECT,  
CIVIL ENGINEER, SURVEYOR***

With the Master Plan complete, the next step in the design phase is to refine the Park design to a higher level of detail. This involves creating a detailed proposed grading plan that requires an accurate site survey. While the City has provided topographic data from post-flood LiDAR, significant changes have taken place since this data was collected. In particular, the buried debris and adjacent areas have experienced massive swelling and settling. A surveyor should be employed to create an accurate topographic and physical feature survey of the site.

Once the survey is complete, the design consultants can develop a 20% design. This design should include accurate proposed layouts of hardscapes (roads, parking lots, paved walks) and items dependent on major infrastructure (structures, ballfields, playground location/size, etc.). The design should also include a final proposed grading plan. This is particularly important because the civil engineers need to create an accurate hydraulic model to prove a no-rise in the 100-year flood elevation as part of the preliminary design.

Although the cost estimate makes a distinction between base Park design and add alternates, the design will not be developed enough to make these distinctions until the Park Design Refinement step.

### 3. DEVELOP BURIED DEBRIS REMOVAL STRATEGIES:

*PROJECTED SCHEDULE - 4-5 MONTHS, FEBRUARY 2015-MAY 2015. FINAL DESIGN WILL NEED TO BE COORDINATED WITH FINAL BASE PARK DESIGN*  
*CONSULTANT SERVICES RECOMMENDED - LANDSCAPE ARCHITECT, CIVIL ENGINEER*

The first construction that needs to take place on the site is the removal and/or capping of the buried debris material. This is the first scope of work for which construction documents and specifications will need to be created. The preliminary park design will need to be started (but not completed) prior to this step because the removal plan will be partially Dependant upon the design of the Park.

This step will be primarily conducted by the civil engineer, with oversight and coordination by the landscape architects in order to ensure compatibility with the Park design. The consultants should provide biddable construction document plans, construction details and specifications that define how and where the buried debris material shall be excavated, transported and capped (if necessary). They should also provide detailed cost estimates for the physical work.

### 4. ENVIRONMENTAL STUDIES (NEPA):

*PROJECTED SCHEDULE - 12 MONTHS, MARCH 2015-MARCH 2016*  
*CONSULTANT SERVICES RECOMMENDED - LANDSCAPE ARCHITECT, CIVIL ENGINEER, ENVIRONMENTAL ENGINEER*

Because this project is receiving Federal government funding, the project must go through the NEPA approval process. As part of the original FEMA Project Worksheet #997 development, a Record of Environmental Consideration (REC) was completed. This REC anticipated a CATEX in place of an Environmental Assessment (EA), although this was in anticipation of rebuilding the Park to pre-existing conditions, not re-designing the Park. Because the Master Plan includes re-designing the Park, it is anticipated that an EA will be required. It is possible that FEMA will require the REC to be re-written as part of the NEPA process. The \$175,000-\$200,000 projected cost and projected schedule is based on assuming an EA with a Finding of No Significant Impact (FONSI). If an Environmental Impact Study (EIS) is required, this would require additional funding and time.



This step also includes the following permitting processes:

- *404 permitting-this is approved through the Army Corps of Engineers. It is part of the Clean Water Act and is necessary whenever any development is within waterways or wetlands.*
- *CLOMR/LOMR/No-rise certificate-this is approved through FEMA and involves proving a no-rise situation and sometimes showing the revised floodplain. Sometimes FEMA will only require a no-rise report, but either way this requires the full hydraulic modeling of the final proposed grading for the site.*

## **5. BASE PARK DESIGN REFINEMENT:**

***PROJECTED SCHEDULE - 8 MONTHS, MAY 2015-DECEMBER 2015***

***CONSULTANT SERVICES RECOMMENDED - LANDSCAPE ARCHITECT,  
CIVIL ENGINEER, STRUCTURAL ENGINEER, ELECTRICAL ENGINEER,  
MECHANICAL ENGINEER, ARCHITECT***

This step can occur while the Environmental Studies are taking place, although the Environmental Studies step should be well underway (at least 1-2 months) so that any initial reactions and findings from the environmental team can be implemented into the Park design. During this step, the consultant team will develop the Park design to a higher level of detail (approximately 50% design). This includes selection of key materials, layout of unpaved trails, playground design, preliminary structure design, preliminary lighting design and refinement of any previous elements (with the exception of grading, as this should already be finalized). Although not always required, it is the recommendation of the Master Plan to also require a construction cost estimate during this step. Preliminary decisions about what can be funded by the \$5.6 million base Park funding will be made based on the cost estimate.

While no permitting processes will be part of this step, the consultant should engage the appropriate parties concerning flood plain development permits, stormwater management and erosion control permits and SB40 permits. This will increase the likelihood of the permits being approved the first time.

## 6. FINAL BASE PARK DESIGN:

*PROJECTED SCHEDULE - 10 MONTHS, JANUARY 2016-NOVEMBER 2016*  
*CONSULTANT SERVICES RECOMMENDED - LANDSCAPE ARCHITECT,  
CIVIL ENGINEER, STRUCTURAL ENGINEER, ELECTRICAL ENGINEER,  
MECHANICAL ENGINEER, ARCHITECT*

This step is essentially a continuation of the previous step, Park design refinement. The main reason for separating these two steps is that the Environmental Studies need to be complete in order for the final design work to begin. However, the final design can begin while the Environmental Assessment is being reviewed by the EPA.

The products of this step include creating 100% construction documents that specify all layouts, materials and details of the final design. During this step, the consultant will also create specifications that define material parameters, installation techniques, approval processes and all other requirements related to construction. These plans and specifications are the main bid documents that contractors will use to bid on the construction project.

This step also includes the following permitting processes:

- *Erosion control plan and Stormwater Management Plan-this is approved through the City of Evans (typically through the engineering department).*
- *Floodplain development approval- this is approved through the City of Evans (typically through the building or engineering department).*
- *Senate Bill 40-this permit is required for projects dealing with waterways in Colorado that are completed or funded by State Agencies. Although the funding is federal, because the money is going through the Colorado Department of Public Safety (a State Agency), there is a chance the project will have to go through this permitting process as well.*



## 7. BURIED DEBRIS REMOVAL BIDDING AND CONSTRUCTION:

*PROJECTED SCHEDULE - 6 MONTHS, JULY 2016-DECEMBER 2016*

*CONSULTANT SERVICES RECOMMENDED - LANDSCAPE ARCHITECT,  
CIVIL ENGINEER, STRUCTURAL ENGINEER, ELECTRICAL ENGINEER,  
MECHANICAL ENGINEER, ARCHITECT, GENERAL CONTRACTOR*

The removal and capping of the buried debris is the first construction that needs to occur on the site. Because of this, THK recommends that the buried debris removal and capping portions of the project be separated from the rest of the Park design as Phase I. This way, the removal and capping of the buried debris can be bid on prior to completing the final 100% park construction documents.

While the majority of the work in this step will be completed by the general contractor, the consultant team will conduct construction administration and observation duties such as submittal reviews, responses to requests for information (RFIs) and site meetings and inspections. The fees for the construction administration and observation services would typically be included in the original design fees.

## 8. BASE PARK AND TRAILS BIDDING AND CONSTRUCTION:

*PROJECTED SCHEDULE - 11 MONTHS, NOVEMBER 2016-SEPTEMBER 2017*

*CONSULTANT SERVICES RECOMMENDED - LANDSCAPE ARCHITECT,  
CIVIL ENGINEER, STRUCTURAL ENGINEER, ELECTRICAL ENGINEER,  
MECHANICAL ENGINEER, ARCHITECT, GENERAL CONTRACTOR*

The 'base' Park is what the consultant team feels the FEMA funding from Project Worksheet #997 will cover. This is largely based upon restoring previously existing uses within the Park, and is explained in greater detail in the Projected Cost Estimates and Funding Shortfalls sections of Chapter 5. As is the case with the previous step, the consultant team will conduct construction administration and supervision duties.

In addition to Project Worksheet #997, the City has also established Project Worksheet #608 to address the reconstruction of the main pedestrian trails along the South Platte River. A more detailed description of the projected costs and how they match up with the Project Worksheet is provided in the Projected Cost Estimates section of this chapter.

While these trails may need to be bid separately to follow FEMA procurement guidelines, the bidding and construction can occur simultaneously with the base Park bidding and construction.

The additional Park amenities can be bid and constructed through two options:

- *Add alternates - The additional amenities can be added to the baseline bid as add alternate line items. This way, if the contractor feels they can install these amenities within the budget, the FEMA funds can be used to pay for them.*
- *Separate phase - The additional amenities can be bid separately as their own project. While this would require additional funding sources and a separate bidding process, it will likely be necessary because the approved FEMA funds from Project Worksheet #997 are most likely not enough to cover the construction of the entire Park Master Plan.*

The recommendation of this Master Plan is to include, at minimum, some of the additional park amenities as add alternates in the ‘base’ Park bid. After reviewing submitted bids, the City and consultant team can identify the items to be completed in a second phase. Following this, they can identify funding sources and proceed with the bidding process when funding is available.

## 9. ADDITIONAL PARK ENHANCEMENTS FINAL DESIGN

*PROJECTED SCHEDULE - VARIABLE BASED ON FUNDING*

*CONSULTANT SERVICES RECOMMENDED - LANDSCAPE ARCHITECT,  
CIVIL ENGINEER, STRUCTURAL ENGINEER, ELECTRICAL ENGINEER,  
MECHANICAL ENGINEER, ARCHITECT*

This step is the refinement and final design for the additional park enhancements. If funding is allocated for these additional park enhancements by or during step 5, this step can be combined with steps 5 and 6. This would allow the entire Master Plan to be constructed in one step. If, however, funding is not allocated in time, these additional park enhancements can be designed during or after the ‘base’ Park is installed.



## 10. ADDITIONAL PARK ENHANCEMENTS BIDDING AND CONSTRUCTION:

*PROJECTED SCHEDULE - VARIABLE BASED ON FUNDING*

*CONSULTANT SERVICES RECOMMENDED - LANDSCAPE ARCHITECT,  
CIVIL ENGINEER, STRUCTURAL ENGINEER, ELECTRICAL ENGINEER,  
MECHANICAL ENGINEER, ARCHITECT, GENERAL CONTRACTOR*

This step is the bidding and construction for the additional park enhancements. Again, if funding is allocated in time, this step can be combined with step 8. This would allow the entire Master Plan to be constructed in one step. If, however, funding is not allocated in time, these additional park enhancements can be installed at a later date after the 'base' Park is installed.



# CHAPTER VI: FUNDING & PARTNERING OPPORTUNITIES

## FUNDING OPPORTUNITIES

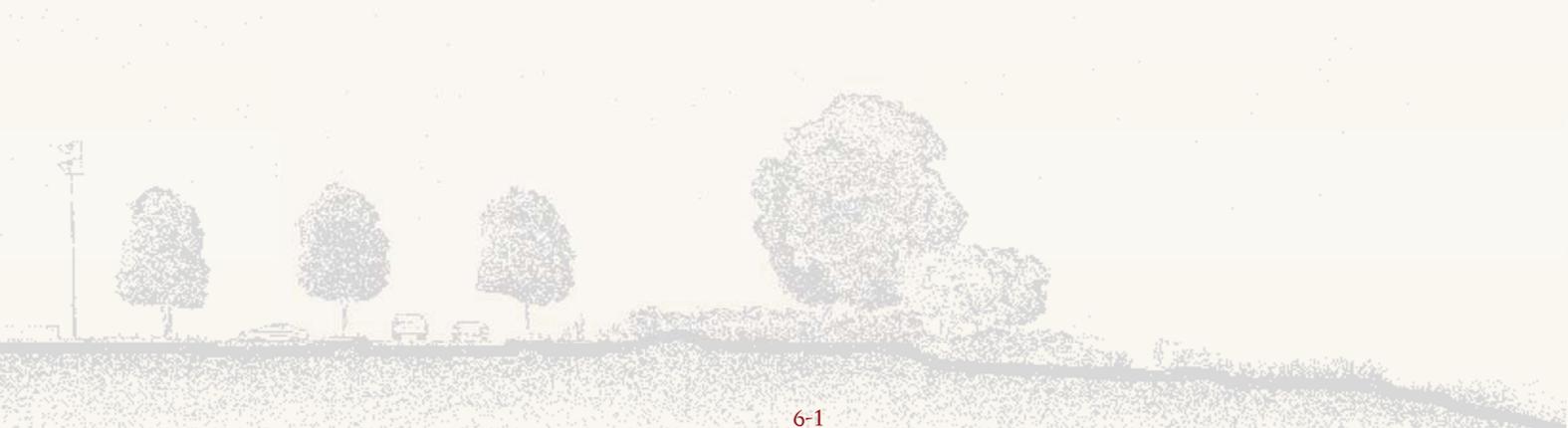
### FEDERAL EMERGENCY MANAGEMENT AGENCY

FEMA funding is different than most grants in that it is not given on a competitive basis, rather it is used solely for disaster recovery. The Project Worksheets that the City of Evans has already submitted were based upon estimated losses within the Park. For the actual Riverside Park reconstruction, the amount is capped at \$5.6 million, since it is an alternative project and not an exact rebuild.

However, the trails Project Worksheet can be re-written to cover any additional costs that were not accounted for when the original cost estimates were submitted. The modification to the original Project Worksheet with updated cost estimates is already being worked on by the City of Evans.

### COMMUNITY BLOCK DEVELOPMENT GRANT – DISASTER RECOVERY (CDBG-DR)

The U.S. Department of Housing and Urban Development (HUD) approved Colorado's CDBG-DR Grant program specifically for flood recovery efforts, thus it does not renew on an annual basis and has limited funds available. The program has approximately \$260 million for flood recovery efforts, with Boulder, Larimer and Weld Counties receiving the majority of funds.



The grant program works off of Notices of Intent submitted by local governments that prioritize their projects and show amounts requested per project. The City of Evans submitted an NOI for 15 prioritized projects and 5 non-prioritized ones.

The first round of CDBG-DR grant fund requests were completed in late summer of 2014. There will be at least two more rounds for grant applications to be received; one in early 2015 and the other in late summer 2015.

Concerning Riverside Park, the City has submitted 3 projects for CDBG-DR funding:

- *\$5 million – Buried Debris Removal*
- *\$1.5 million – Berm Repair*
- *\$1 million – Park Enhancements*

## **GREAT OUTDOORS COLORADO (GOCO)**

GOCO received almost \$60 million dollars from lottery proceeds in 2013. Together with the Colorado Division of Parks and Wildlife (CPW), GOCO grants fund several different project types with varying levels of funding awarded by contract.

GOCO offers two grant cycles per year, one in the spring and one in the fall. Their grants include money for:

- *Planning*
- *Open Space Aquisition*
- *Local Government Parks and Recreation Construction*
- *Trails Construction*
- *Riparian Restoration*

Specific to Riverside Park, a GOCO grant application could be used to fund the construction of environmental play areas, additional trails, wetland and riparian habitat re-vegetation and open space acquisition.



## COLORADO WATER CONSERVATION BOARD (CWCB)

CWCB established a Healthy Rivers Fund Grant Program that helps support local watershed organizations in efforts to provide clean water, protect habitat, and improve recreation and accessibility.

Grant application periods are offered once a year and due by April 30. Similar to GOCO, grants are offered for both planning and construction projects.

Project grants cannot exceed \$50,000 but can be used for:

- *Riparian restoration and re-vegetation*
- *Sedimentation Mitigation*
- *Creek Stabilization*
- *Community Outreach and Education*
- *Park Enhancements that Provide River Access*

For Riverside Park, the Healthy Rivers Grant Fund could be used to build an egress point or docking area for canoers, tubers and kayakers, assist with re-vegetating wetland areas and stabilizing areas of the river.

Additionally, Watershed Recovery Funds are available. There is \$19 million available for counties and municipalities that experienced 2012-2013 wildfire damage and 2013 flood damage. CWCB would like to distribute these funds through local watershed coalitions.

## PARTNERSHIPS OPPORTUNITIES:

There are possibilities of partnerships to assist with the reconstruction of Riverside Park.

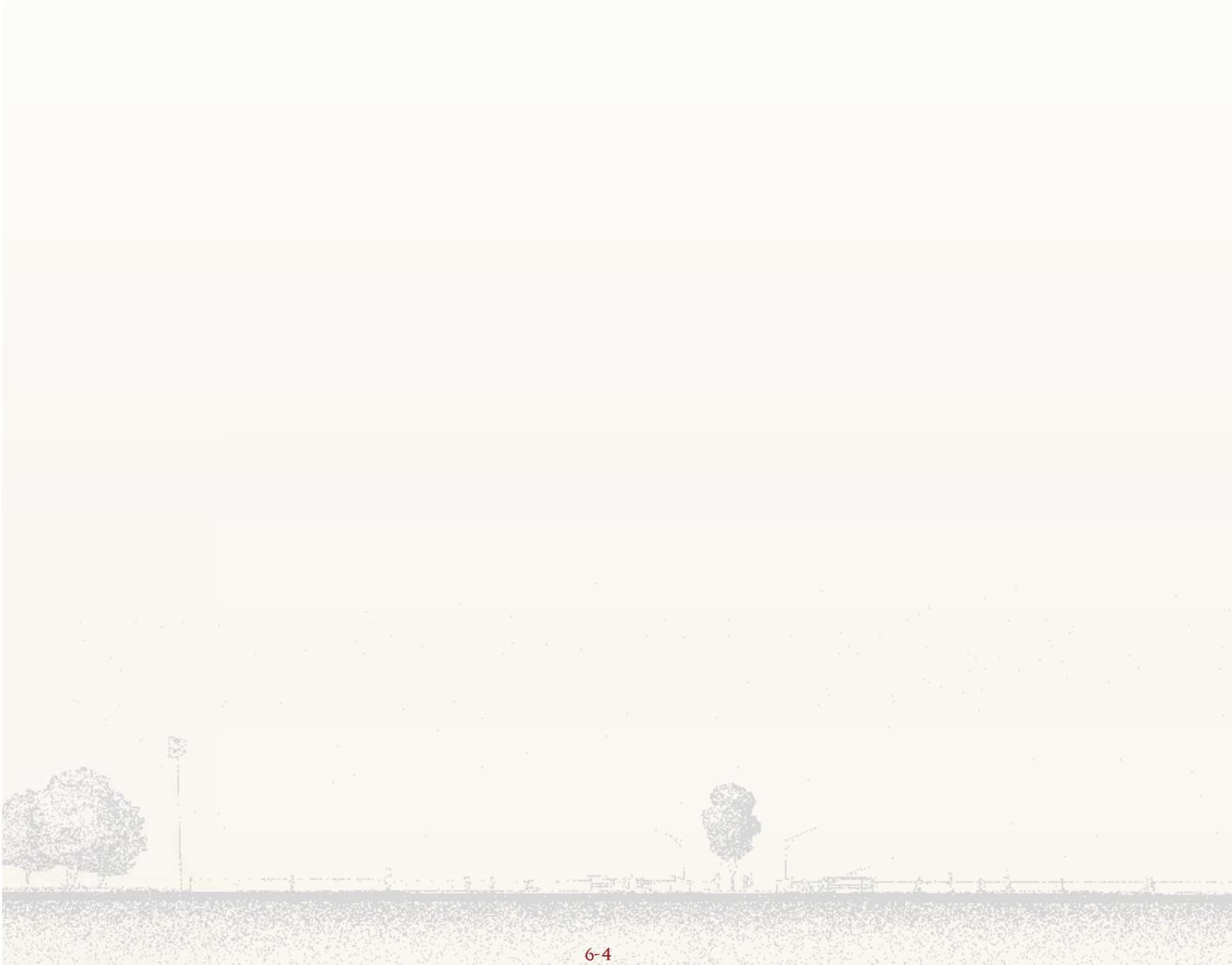
### XCEL ENERGY

As part of the Master Plan final design concept, representatives from Xcel Energy were engaged to determine the requirements for reconstruction around the existing transmission lines in the Park. After walking the Park, Xcel agreed that the current conditions would not allow proper maintenance to be performed and that access to the transmission poles had to be reestablished.

To meet the guidelines that Xcel Energy planners and engineers require, there is an opportunity to work together to share the costs for trails in order for the trails to provide maintenance access to the transmission poles.

## **OIL AND GAS COMPANIES**

The City of Evans has a close relationship with the oil and gas companies in the local region. Many of these companies have expressed a willingness to donate/assist with recovery and reconstruction efforts by lending heavy equipment to remove sediment and debris and perhaps haul the materials as well.



# CHAPTER VII: ADJACENT LAND ACQUISITIONS

## POTENTIAL LAND ACQUISITIONS FOR THE PARK

Throughout the Master Planning process, two properties in particular were identified as potential acquisitions that could be used to enhance and expand Riverside Park. The first property is the former CDOT/Colorado State Patrol Building at 3939 Riverside Parkway. The building has been vacant since the September, 2013 floods and neither agency currently has any plans to repair and use the building. Because the possibility of the City acquiring this property is fairly good at the time of this report, the graphic in [Figure 7.1](#) was created to show a possible use of the property. The parking lot area is intended to be above the 100 year floodplain, while the rest of the site is lowered in order to direct water to the East, back to the river. The majority of this water should be directed through the culvert that will be placed under Riverside Parkway (discussed in the Hydraulics section of Chapter IV). The raised portion also incorporates a small plaza area with some shade shelters. This serves as a hub for trails that explore the lower areas of the Park.

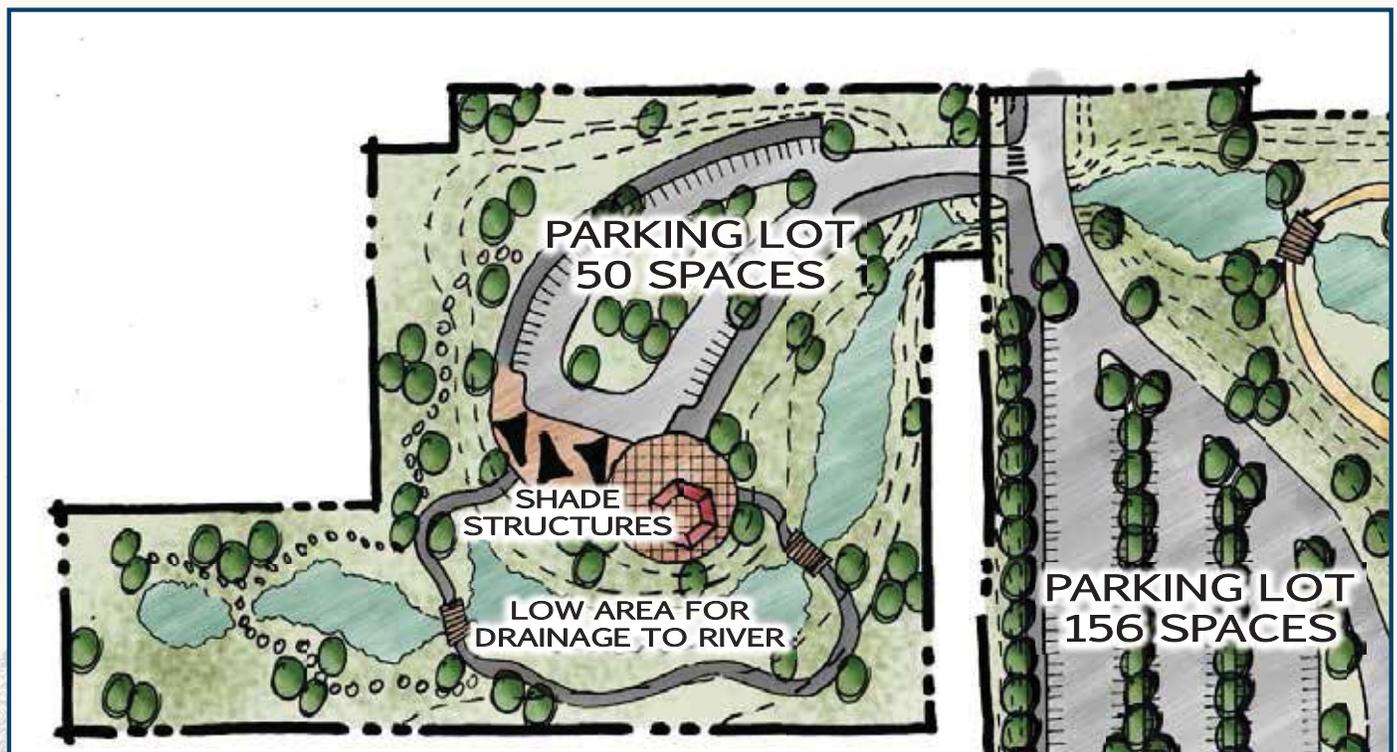


FIGURE 7.1 MASTER PLAN FOR CDOT PROPERTY ACQUISITION

The second potential land acquisition is the former site of Eastwood Village Mobile Home Community at 200 37<sup>th</sup> Street. Because the future of this site is more in question than the CDOT site, the Master Plan does not include a potential plan drawing for a proposed use of the site. If the City were to acquire this property, however, the recommendation of the Master Plan would be to



FIGURE 7.2 EASTWOOD VILLAGE DURING THE FLOODS

acquire the property as open space and re-examine the site grading concepts to provide future flood mitigation. The goal would be to reconnect the South Platte River with the flood plain and lower the 100-year flood elevation.



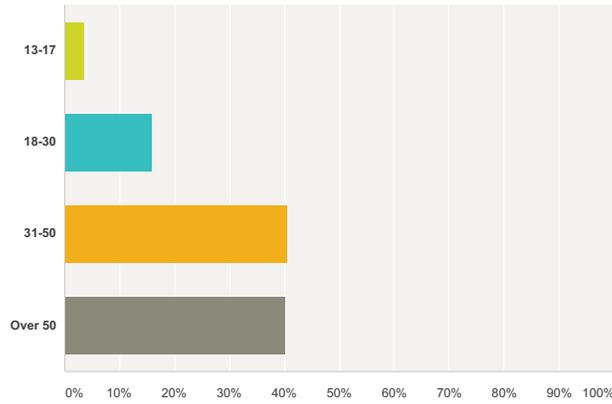
FIGURE 7.3 EASTWOOD VILLAGE AFTER THE FLOODS

# APPENDIX A1: COMMUNITY SURVEY RESULTS

## Riverside Park Survey

### Q1 Please select your age range.

Answered: 220 Skipped: 95

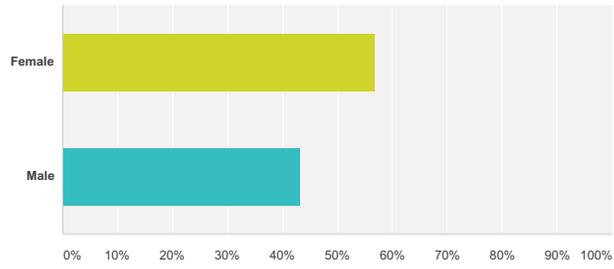


Answer Choices	Responses
13-17	3.64% 8
18-30	15.91% 35
31-50	40.45% 89
Over 50	40.00% 88
<b>Total</b>	<b>220</b>

# Riverside Park Survey

## Q2 What is your gender?

Answered: 217 Skipped: 98

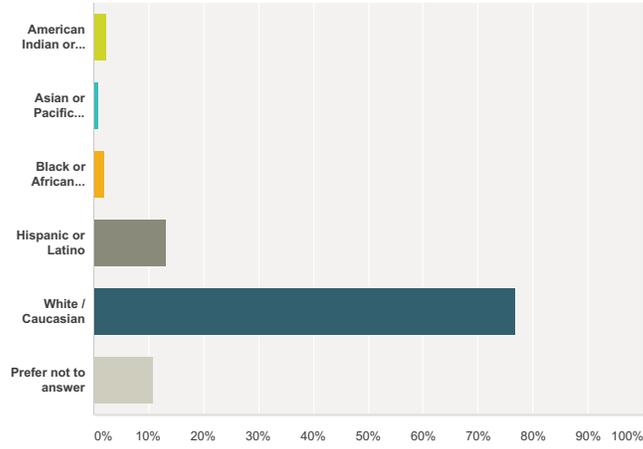


Answer Choices	Responses	
Female	56.68%	123
Male	43.32%	94
<b>Total</b>		<b>217</b>

# Riverside Park Survey

## Q3 What is your ethnicity? (Please select all that apply.)

Answered: 220 Skipped: 95

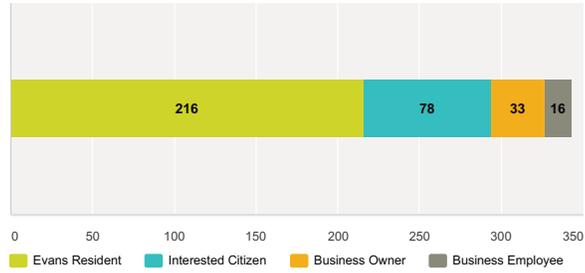


Answer Choices	Responses
American Indian or Alaskan Native	2.27% 5
Asian or Pacific Islander	0.91% 2
Black or African American	1.82% 4
Hispanic or Latino	13.18% 29
White / Caucasian	76.82% 169
Prefer not to answer	10.91% 24
<b>Total Respondents: 220</b>	

# Riverside Park Survey

## Q4 Which categories best describe you?

Answered: 297 Skipped: 18



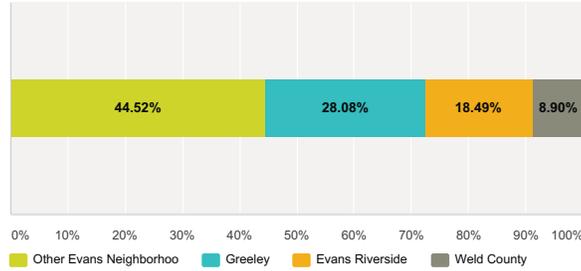
Answer Choices	Responses
Evans Resident	72.73% 216
Interested Citizen	26.26% 78
Business Owner	11.11% 33
Business Employee	5.39% 16
<b>Total Respondents: 297</b>	

#	Other (please specify)	Date
1	property owner	8/29/2014 9:15 AM
2	property owner	8/29/2014 9:02 AM
3	And Little League coach	8/26/2014 8:26 PM
4	And Little League coach	8/26/2014 7:39 PM
5	School Romero	8/21/2014 2:21 PM
6	Other	8/21/2014 9:55 AM
7	Citizen	8/20/2014 4:30 PM
8	former resident	8/19/2014 10:26 AM
9	City Employee	8/18/2014 8:29 PM
10	Employee	8/18/2014 12:29 PM
11	City employee	8/18/2014 12:16 PM
12	Person of Concern	8/18/2014 11:50 AM
13	Student	8/18/2014 10:27 AM
14	retailer, ecommerce	8/18/2014 7:26 AM
15	property owner	8/12/2014 6:57 PM
16	Looking at buying a home in Evans	8/4/2014 4:05 PM
17	Resident of near by town	8/4/2014 3:06 PM
18	From here and my folks live a couple blocks away	7/29/2014 7:44 PM
19	sports parent	7/29/2014 6:41 PM
20	property owner	7/29/2014 5:28 PM
21	Generations of my family came from Evans	7/29/2014 2:05 AM
22	My parents/family live in the area.	7/28/2014 2:52 PM

# Riverside Park Survey

## Q5 What part of the community do you live in?

Answered: 292 Skipped: 23



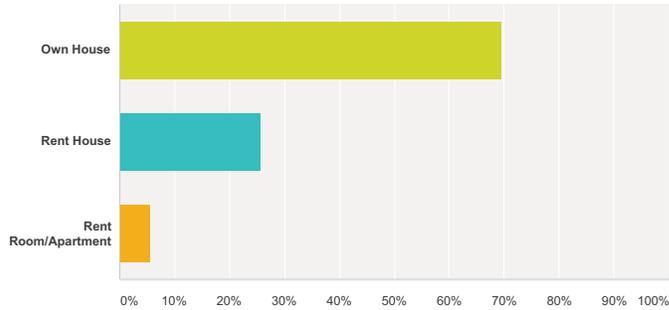
Answer Choices	Responses
Other Evans Neighborhood	44.52% 130
Greeley	28.08% 82
Evans Riverside	18.49% 54
Weld County	8.90% 26
<b>Total</b>	<b>292</b>

#	Other (please specify)	Date
1	Willowbrook	8/21/2014 4:49 PM
2	Work at Riverside Library	8/21/2014 4:42 PM
3	Hill's Park	8/21/2014 3:36 PM
4	Milliken	8/21/2014 2:26 PM
5	LaSalle	8/21/2014 10:16 AM
6	Near Highway 85	8/20/2014 4:23 PM
7	grapevine hollow	8/19/2014 11:33 AM
8	hunter's reserve	8/19/2014 9:30 AM
9	Larimer County	8/19/2014 7:40 AM
10	Cave Creek	8/18/2014 4:02 PM
11	Neighboring town	8/18/2014 12:16 PM
12	Loveland	8/18/2014 10:24 AM
13	Cave Creek	8/18/2014 10:17 AM
14	n/a	8/18/2014 7:26 AM
15	McAvoy Ave.	8/11/2014 11:08 AM
16	Near Historic Evans	8/7/2014 10:15 AM
17	Live in Longmont, work in Evans	8/5/2014 8:37 AM
18	Riverside Parkway	8/5/2014 12:23 AM
19	Larimer County	8/4/2014 7:58 AM
20	Grapevine Hollow	8/2/2014 10:04 PM
21	Grapevine Hollow	8/2/2014 3:41 PM
22	Larimer	8/1/2014 2:24 PM
23	Hill-N-Park	7/31/2014 10:07 AM
24	Fort Collins	7/30/2014 2:18 PM
25	Morgan County, lived in Evans for 6 years	7/29/2014 9:31 PM
26	I live in Nebraska but visit folks frequently	7/29/2014 7:44 PM
27	I lived in historic Evans and my grandfather had the historic Quality Dairy in Evans	7/29/2014 2:05 AM
28	Riverside Pkwy	7/28/2014 8:20 PM
29	riverside park	7/28/2014 7:51 PM
30	Logan County	7/28/2014 12:27 PM
31	36th street	7/28/2014 11:42 AM

# Riverside Park Survey

## Q6 If you are a resident of Historic Evans, do you:

Answered: 105 Skipped: 210



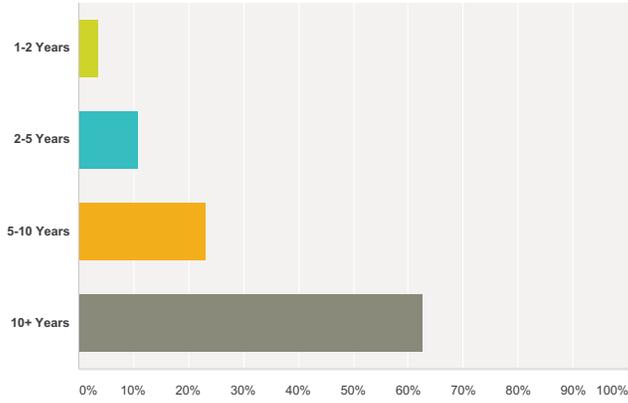
Answer Choices	Responses
Own House	69.52% 73
Rent House	25.71% 27
Rent Room/Apartment	5.71% 6
<b>Total Respondents: 105</b>	

#	Other (please specify)	Date
1	NA#	8/26/2014 8:26 PM
2	NA#	8/26/2014 7:39 PM
3	Family	8/22/2014 9:10 AM
4	Own rental houses	8/21/2014 4:51 PM
5	Other	8/21/2014 10:16 AM
6	NA	8/19/2014 3:42 PM
7	What is historic evans?	8/19/2014 9:30 AM
8	N/A	8/18/2014 8:29 PM
9	Looking to move corporate ofc to Evans	8/18/2014 10:24 AM
10	own mobile home	8/18/2014 7:17 AM
11	Own Business	8/7/2014 4:43 PM
12	N/A	8/5/2014 8:37 AM
13	I live in evans and have rentals in evans	8/4/2014 7:50 PM
14	I live in evans and have rentals in evans	8/4/2014 5:57 PM
15	looking to buy	8/4/2014 4:05 PM
16	Currently not a resident but i love evans	7/29/2014 2:05 AM

# Riverside Park Survey

## Q7 How many years have you lived in, or around, the City of Evans?

Answered: 203 Skipped: 112



Answer Choices	Responses
1-2 Years	3.45% 7
2-5 Years	10.84% 22
5-10 Years	23.15% 47
10+ Years	62.56% 127
<b>Total</b>	<b>203</b>

## Riverside Park Survey

### Q8 How many children do you have in your home?

Answered: 118 Skipped: 197

Answer Choices	Responses
Pre-School	50.00% 59
Elementary School	61.86% 73
Middle School	49.15% 58
High School	46.61% 55

#	Pre-School	Date
1	1	8/29/2014 10:57 AM
2	0	8/26/2014 3:26 PM
3	0	8/20/2014 11:26 AM
4	1	8/20/2014 1:09 AM
5	1	8/19/2014 1:15 PM
6	1	8/19/2014 1:15 PM
7	1	8/19/2014 12:39 PM
8	1	8/19/2014 10:26 AM
9	3	8/18/2014 11:54 PM
10	0	8/18/2014 8:29 PM
11	0	8/18/2014 6:01 PM
12	1	8/18/2014 5:05 PM
13	0	8/18/2014 1:29 PM
14	0	8/18/2014 1:00 PM
15	0	8/18/2014 12:46 PM
16	1	8/18/2014 12:29 PM
17	0	8/18/2014 10:17 AM
18	0	8/18/2014 10:10 AM
19	0	8/18/2014 9:27 AM
20	1	8/18/2014 7:43 AM
21	0	8/18/2014 7:17 AM
22	1	8/14/2014 8:56 AM
23	2	8/7/2014 10:44 AM
24	0	8/7/2014 10:15 AM
25	2	8/5/2014 6:27 PM
26	0	8/5/2014 3:17 PM
27	0	8/5/2014 8:37 AM
28	0	8/5/2014 8:37 AM
29	2	8/4/2014 11:24 PM
30	1	8/4/2014 3:06 PM
31	Two	8/4/2014 2:36 PM
32	1	8/4/2014 1:55 PM
33	One and one younger	8/4/2014 7:43 AM
34	3	8/3/2014 7:23 AM
35	2	8/2/2014 10:38 PM
36	3	8/2/2014 10:04 PM
37	0	7/31/2014 6:35 PM
38	0	7/31/2014 3:41 PM
39	0	7/31/2014 2:15 PM
40	One and one younger	7/31/2014 12:48 PM
41	1	7/31/2014 9:22 AM
42	3	7/30/2014 11:23 PM
43	1	7/30/2014 4:27 PM

## Riverside Park Survey

44	1	7/30/2014 12:22 PM
45	3	7/29/2014 8:04 PM
46	0	7/29/2014 4:51 PM
47	0	7/28/2014 9:04 PM
48	1	7/28/2014 8:45 PM
49	1	7/28/2014 8:20 PM
50	0	7/28/2014 7:51 PM
51	1	7/28/2014 7:15 PM
52	0	7/28/2014 2:12 PM
53	0	7/28/2014 1:29 PM
54	1	7/28/2014 11:42 AM
55	1	7/28/2014 8:58 AM
56	1	7/28/2014 8:45 AM
57	1	7/28/2014 8:40 AM
58	2	7/28/2014 8:35 AM
59	1	7/28/2014 8:25 AM
<b>#</b>	<b>Elementary School</b>	<b>Date</b>
1	3	8/29/2014 10:57 AM
2	2	8/27/2014 4:08 PM
3	1	8/26/2014 8:26 PM
4	1	8/26/2014 7:39 PM
5	1	8/26/2014 3:26 PM
6	1	8/21/2014 11:41 AM
7	0	8/20/2014 11:26 AM
8	1	8/19/2014 4:05 PM
9	1	8/19/2014 3:42 PM
10	0	8/18/2014 8:29 PM
11	0	8/18/2014 6:01 PM
12	1	8/18/2014 5:05 PM
13	2	8/18/2014 4:02 PM
14	0	8/18/2014 1:29 PM
15	0	8/18/2014 1:00 PM
16	0	8/18/2014 12:46 PM
17	1	8/18/2014 12:29 PM
18	1	8/18/2014 11:14 AM
19	1	8/18/2014 10:24 AM
20	0	8/18/2014 10:17 AM
21	0	8/18/2014 10:10 AM
22	0	8/18/2014 9:27 AM
23	1	8/18/2014 7:43 AM
24	0	8/18/2014 7:17 AM
25	4	8/14/2014 8:17 PM
26	1	8/14/2014 8:56 AM
27	1	8/11/2014 12:32 PM
28	1	8/11/2014 12:21 PM
29	3	8/9/2014 2:58 PM
30	3	8/9/2014 1:15 PM
31	3	8/9/2014 12:26 PM
32	3	8/9/2014 12:13 PM
33	3	8/9/2014 11:54 AM
34	0	8/7/2014 10:15 AM
35	Jorge Rubio	8/5/2014 8:52 PM
36	0	8/5/2014 3:17 PM

## Riverside Park Survey

37	0	8/5/2014 8:37 AM
38	0	8/5/2014 8:37 AM
39	1	8/5/2014 12:23 AM
40	1	8/4/2014 8:22 PM
41	1	8/4/2014 4:07 PM
42	4	8/4/2014 3:06 PM
43	2	8/4/2014 1:55 PM
44	2	8/2/2014 10:38 PM
45	0	7/31/2014 6:35 PM
46	0	7/31/2014 3:41 PM
47	0	7/31/2014 2:15 PM
48	2	7/30/2014 11:23 PM
49	1	7/30/2014 4:27 PM
50	3	7/29/2014 8:04 PM
51	2	7/29/2014 6:41 PM
52	1	7/29/2014 6:11 PM
53	0	7/29/2014 4:51 PM
54	1	7/28/2014 11:42 PM
55	1	7/28/2014 10:32 PM
56	0	7/28/2014 9:04 PM
57	1	7/28/2014 8:20 PM
58	1	7/28/2014 8:18 PM
59	2	7/28/2014 7:51 PM
60	2	7/28/2014 7:15 PM
61	1	7/28/2014 2:12 PM
62	2	7/28/2014 2:10 PM
63	0	7/28/2014 1:29 PM
64	one	7/28/2014 12:09 PM
65	0	7/28/2014 11:42 AM
66	2	7/28/2014 10:09 AM
67	1	7/28/2014 9:39 AM
68	2	7/28/2014 8:58 AM
69	1	7/28/2014 8:47 AM
70	1	7/28/2014 8:45 AM
71	1	7/28/2014 8:35 AM
72	1	7/28/2014 8:25 AM
73	1	7/28/2014 8:11 AM
<b>#</b>	<b>Middle School</b>	<b>Date</b>
1	0	8/26/2014 3:26 PM
2	1	8/21/2014 11:41 AM
3	0	8/20/2014 11:26 AM
4	2	8/19/2014 8:12 PM
5	1	8/19/2014 4:05 PM
6	1	8/19/2014 3:42 PM
7	1	8/19/2014 12:10 PM
8	2	8/19/2014 10:26 AM
9	1	8/18/2014 10:35 PM
10	1	8/18/2014 8:29 PM
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12	0	8/18/2014 1:29 PM
13	0	8/18/2014 1:00 PM
14	0	8/18/2014 12:46 PM
15	1	8/18/2014 10:24 AM
16	0	8/18/2014 10:17 AM

## Riverside Park Survey

17	0	8/18/2014 10:10 AM
18	0	8/18/2014 9:27 AM
19	0	8/18/2014 7:17 AM
20	1	8/13/2014 12:24 PM
21	1	8/13/2014 12:02 PM
22	1	8/11/2014 12:32 PM
23	1	8/11/2014 12:21 PM
24	2	8/9/2014 2:58 PM
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52	0	7/28/2014 1:29 PM
53	0	7/28/2014 11:42 AM
54	1	7/28/2014 10:09 AM
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56	2	7/28/2014 9:39 AM
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3	1	8/21/2014 11:41 AM
4	0	8/20/2014 11:26 AM
5	1	8/19/2014 1:15 PM
6	1	8/19/2014 1:15 PM
7	1	8/19/2014 10:26 AM
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11	0	8/18/2014 1:29 PM

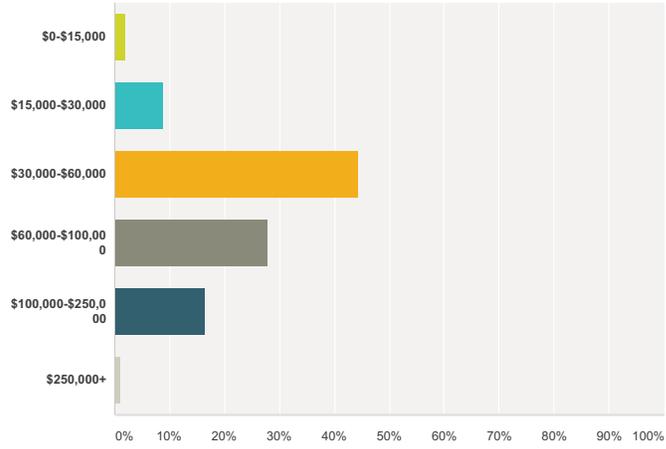
## Riverside Park Survey

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16	1	8/18/2014 9:27 AM
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18	1	8/18/2014 8:19 AM
19	0	8/18/2014 7:17 AM
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21	3	8/13/2014 12:24 PM
22	3	8/13/2014 12:02 PM
23	0	8/7/2014 10:15 AM
24	0	8/5/2014 3:17 PM
25	0	8/5/2014 8:37 AM
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32	0	7/31/2014 3:41 PM
33	0	7/31/2014 2:15 PM
34	1	7/31/2014 10:53 AM
35	2	7/31/2014 10:07 AM
36	1	7/31/2014 9:28 AM
37	2	7/30/2014 10:02 AM
38	1	7/29/2014 8:04 PM
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47	1	7/28/2014 12:41 PM
48	1	7/28/2014 12:27 PM
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51	2	7/28/2014 9:49 AM
52	1	7/28/2014 8:58 AM
53	1	7/28/2014 8:43 AM
54	1	7/28/2014 8:39 AM
55	1	7/28/2014 8:25 AM

# Riverside Park Survey

## Q9 Please indicate the approximate Total Gross Income of your household.

Answered: 206 Skipped: 109

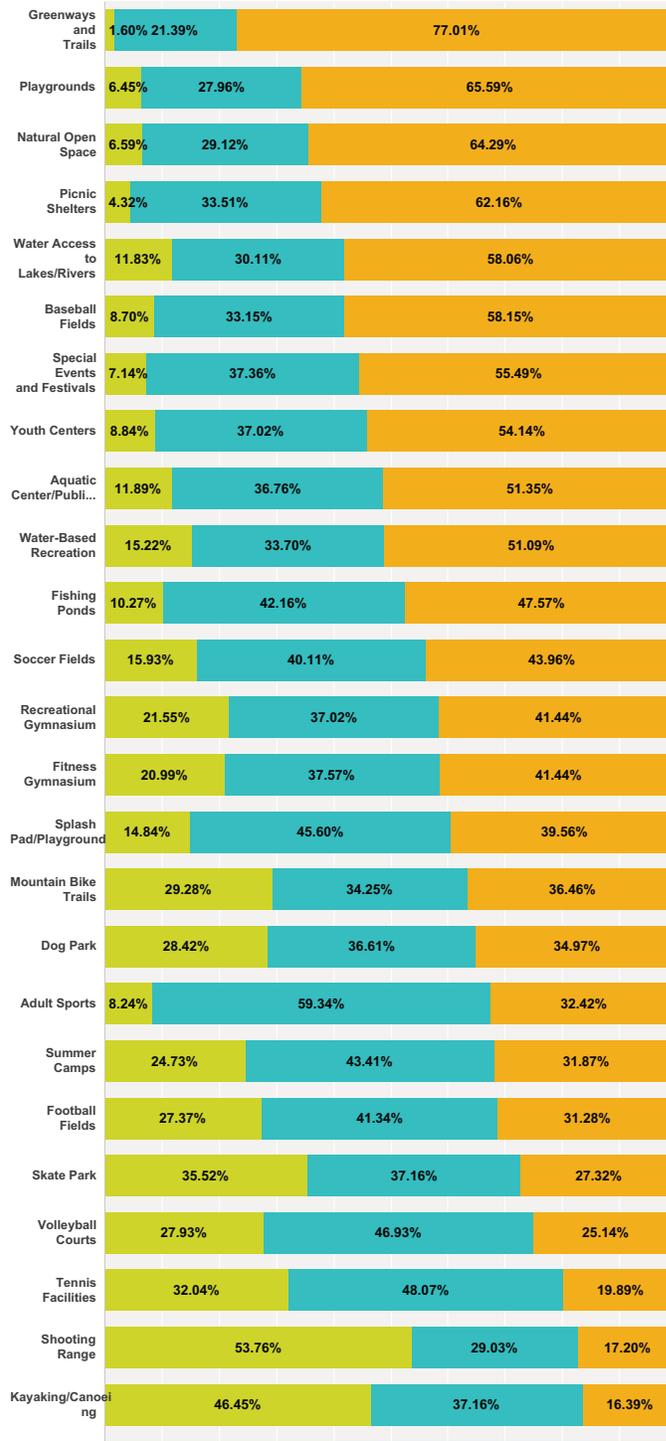


Answer Choices	Responses
\$0-\$15,000	1.94% 4
\$15,000-\$30,000	8.74% 18
\$30,000-\$60,000	44.17% 91
\$60,000-\$100,000	27.67% 57
\$100,000-\$250,000	16.50% 34
\$250,000+	0.97% 2
<b>Total</b>	<b>206</b>

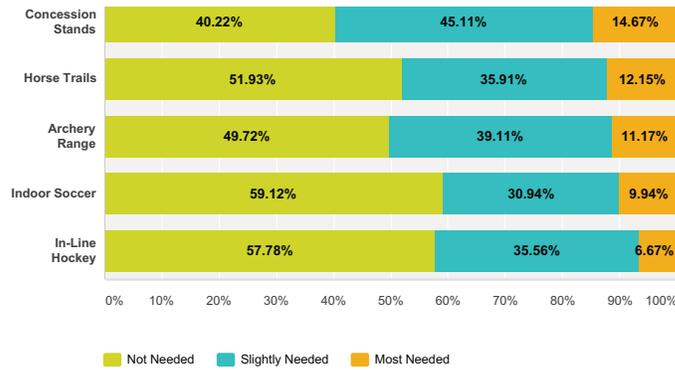
# Riverside Park Survey

**Q10 Below is a list of indoor and outdoor facilities programs. Please indicate which of these activities is most needed by the people of Evans by checking each activity as Not Needed, Slightly Needed, or Most Needed.**

Answered: 190 Skipped: 125



## Riverside Park Survey



	Not Needed	Slightly Needed	Most Needed	Total
Greenways and Trails	1.60% 3	21.39% 40	77.01% 144	187
Playgrounds	6.45% 12	27.96% 52	65.59% 122	186
Natural Open Space	6.59% 12	29.12% 53	64.29% 117	182
Picnic Shelters	4.32% 8	33.51% 62	62.16% 115	185
Water Access to Lakes/Rivers	11.83% 22	30.11% 56	58.06% 108	186
Baseball Fields	8.70% 16	33.15% 61	58.15% 107	184
Special Events and Festivals	7.14% 13	37.36% 68	55.49% 101	182
Youth Centers	8.84% 16	37.02% 67	54.14% 98	181
Aquatic Center/Public Pool	11.89% 22	36.76% 68	51.35% 95	185
Water-Based Recreation	15.22% 28	33.70% 62	51.09% 94	184
Fishing Ponds	10.27% 19	42.16% 78	47.57% 88	185
Soccer Fields	15.93% 29	40.11% 73	43.96% 80	182
Recreational Gymnasium	21.55% 39	37.02% 67	41.44% 75	181
Fitness Gymnasium	20.99% 38	37.57% 68	41.44% 75	181
Splash Pad/Playground	14.84% 27	45.60% 83	39.56% 72	182
Mountain Bike Trails	29.28% 53	34.25% 62	36.46% 66	181
Dog Park	28.42% 52	36.61% 67	34.97% 64	183
Adult Sports	8.24% 15	59.34% 108	32.42% 59	182
Summer Camps	24.73% 45	43.41% 79	31.87% 58	182
Football Fields	27.37% 49	41.34% 74	31.28% 56	179
Skate Park	35.52% 65	37.16% 68	27.32% 50	183
Volleyball Courts	27.93% 50	46.93% 84	25.14% 45	179
Tennis Facilities	32.04% 58	48.07% 87	19.89% 36	181
Shooting Range	53.76% 100	29.03% 54	17.20% 32	186
Kayaking/Canoeing	46.45% 85	37.16% 68	16.39% 30	183

## Riverside Park Survey

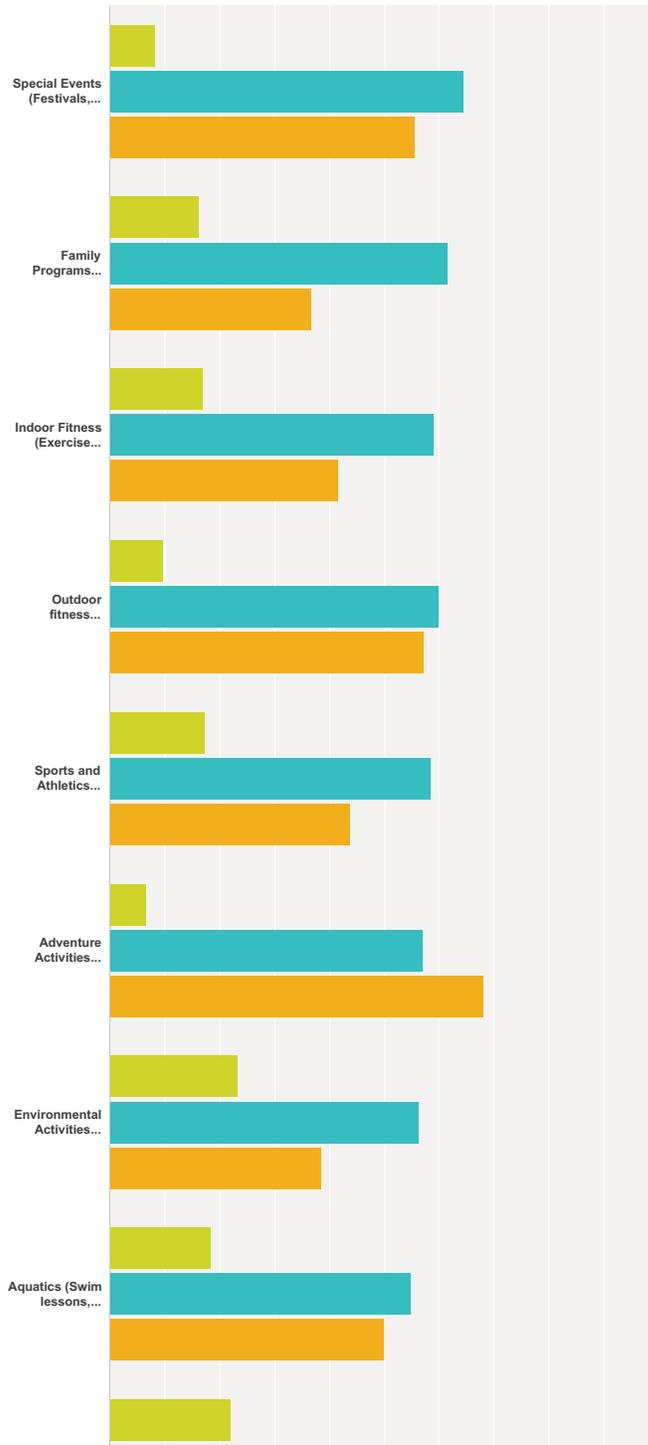
Concession Stands	<b>40.22%</b> 74	<b>45.11%</b> 83	<b>14.67%</b> 27	184
Horse Trails	<b>51.93%</b> 94	<b>35.91%</b> 65	<b>12.15%</b> 22	181
Archery Range	<b>49.72%</b> 89	<b>39.11%</b> 70	<b>11.17%</b> 20	179
Indoor Soccer	<b>59.12%</b> 107	<b>30.94%</b> 56	<b>9.94%</b> 18	181
In-Line Hockey	<b>57.78%</b> 104	<b>35.56%</b> 64	<b>6.67%</b> 12	180



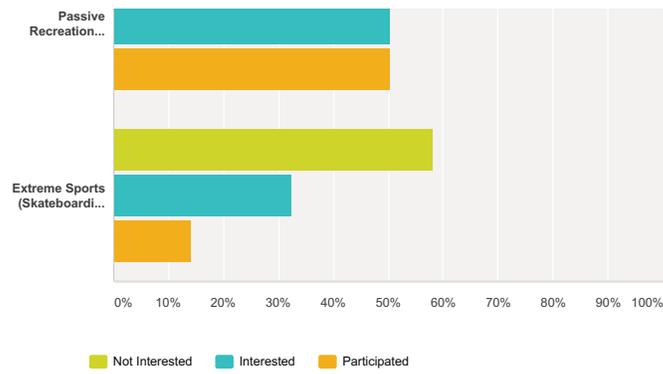
# Riverside Park Survey

**Q11 For each activity listed below please indicate whether you and/or anyone in your family would have an interest in the activity. Then please indicate if you and or anyone in your family have participated in the activity in the past 12 months.**

Answered: 183 Skipped: 132



## Riverside Park Survey

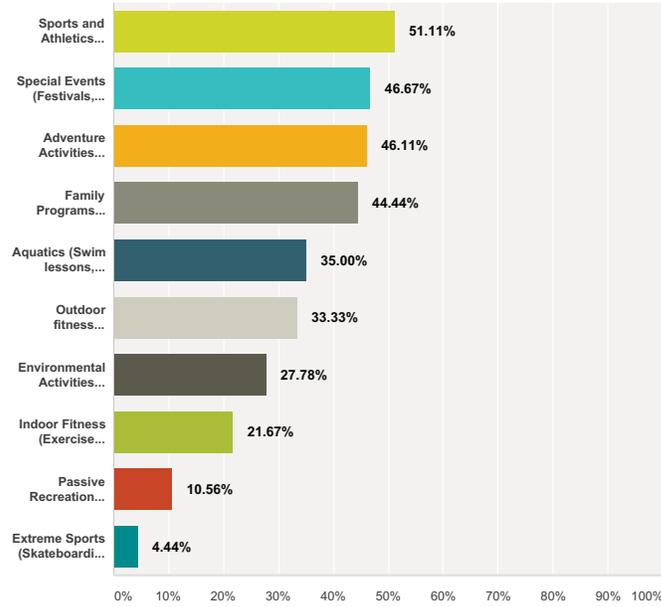


	Not Interested	Interested	Participated	Total Respondents
Special Events (Festivals, shows, fairs, parades, etc.)	8.33% 15	64.44% 116	55.56% 100	180
Family Programs (Parties, family nights, etc.)	16.38% 29	61.58% 109	36.72% 65	177
Indoor Fitness (Exercise equipment, jogging track, aerobics, etc.)	16.85% 30	58.99% 105	41.57% 74	178
Outdoor fitness (In-Line skating, running, walking, biking, etc.)	9.71% 17	60.00% 105	57.14% 100	175
Sports and Athletics (Baseball, soccer, basketball, football, tennis, golf, etc.)	17.42% 31	58.43% 104	43.82% 78	178
Adventure Activities (Hiking, boating, fishing, etc.)	6.63% 12	56.91% 103	67.96% 123	181
Environmental Activities (Nature study, nature walks, bird watching, etc.)	23.46% 42	56.42% 101	38.55% 69	179
Aquatics (Swim lessons, competitive swimming, recreational swimming, etc.)	18.33% 33	55.00% 99	50.00% 90	180
Passive Recreation (People watching, enjoying scenery, etc.)	22.03% 39	50.28% 89	50.28% 89	177
Extreme Sports (Skateboarding, BMX biking, snowboarding, etc.)	58.10% 104	32.40% 58	13.97% 25	179

# Riverside Park Survey

## Q12 Which three activities are most needed in the City of Evans?

Answered: 180 Skipped: 135

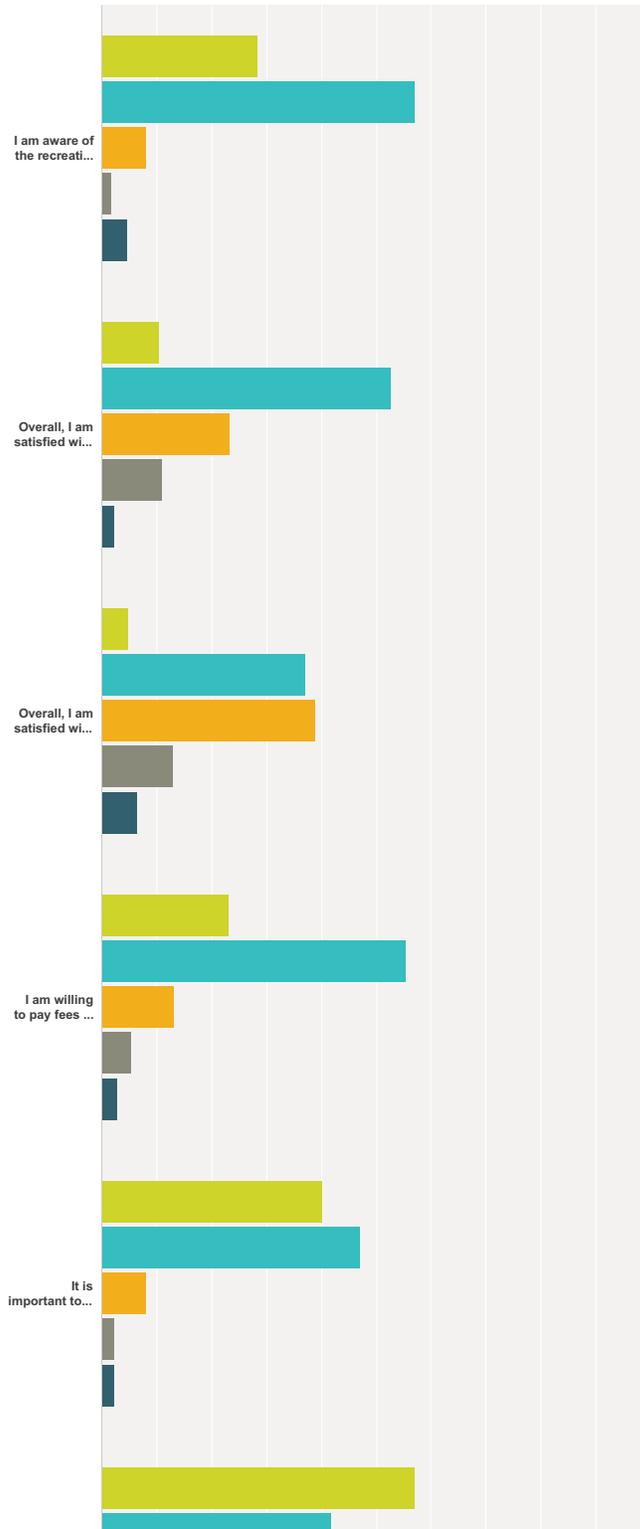


Answer Choices	Responses
Sports and Athletics (Baseball, soccer, basketball, football, tennis, golf, etc.)	51.11% 92
Special Events (Festivals, shows, fairs, parades, etc.)	46.67% 84
Adventure Activities (Hiking, boating, fishing, etc.)	46.11% 83
Family Programs (Parties, family nights, etc.)	44.44% 80
Aquatics (Swim lessons, competitive swimming, recreational swimming, etc.)	35.00% 63
Outdoor fitness (In-Line skating, running, walking, biking, etc.)	33.33% 60
Environmental Activities (Nature study, nature walks, bird watching, etc.)	27.78% 50
Indoor Fitness (Exercise equipment, jogging track, aerobics, etc.)	21.67% 39
Passive Recreation (People watching, enjoying scenery, etc.)	10.56% 19
Extreme Sports (Skateboarding, BMX biking, snowboarding, etc.)	4.44% 8
<b>Total Respondents: 180</b>	

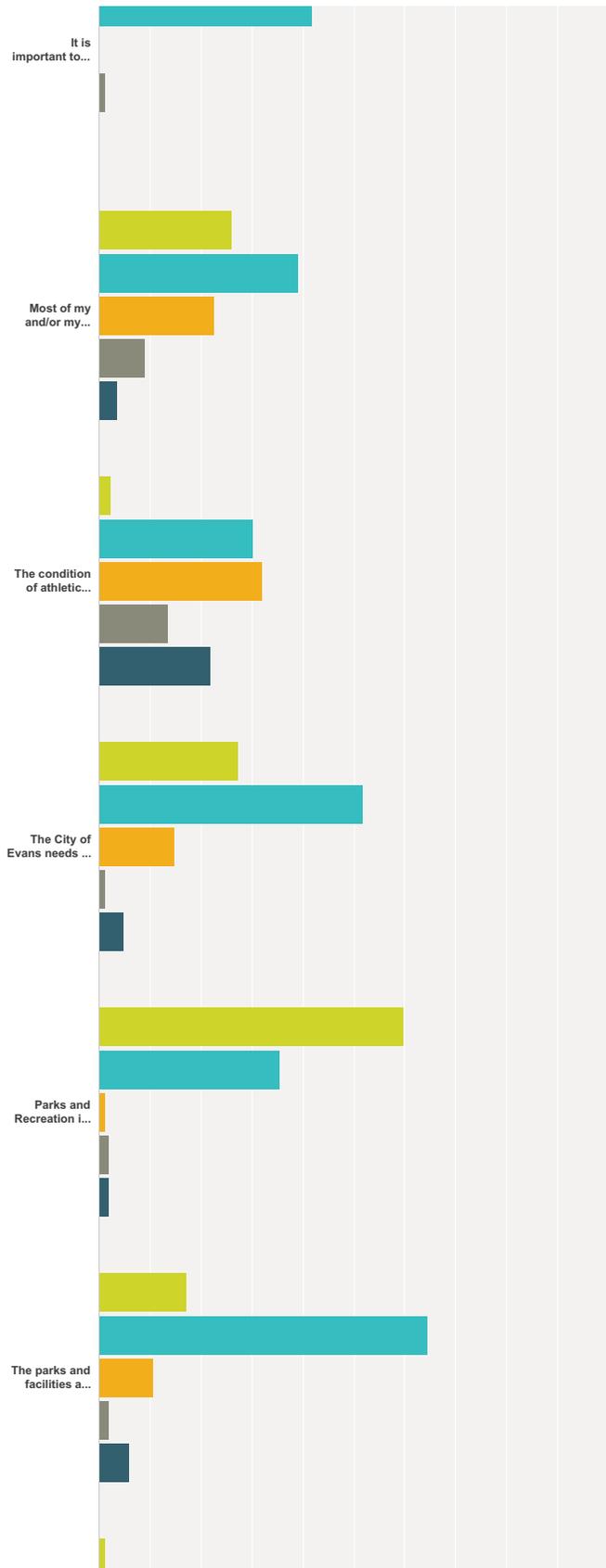
# Riverside Park Survey

**Q13 Please indicate whether you strongly agree, agree, disagree, strongly disagree, or don't know on the following questions.**

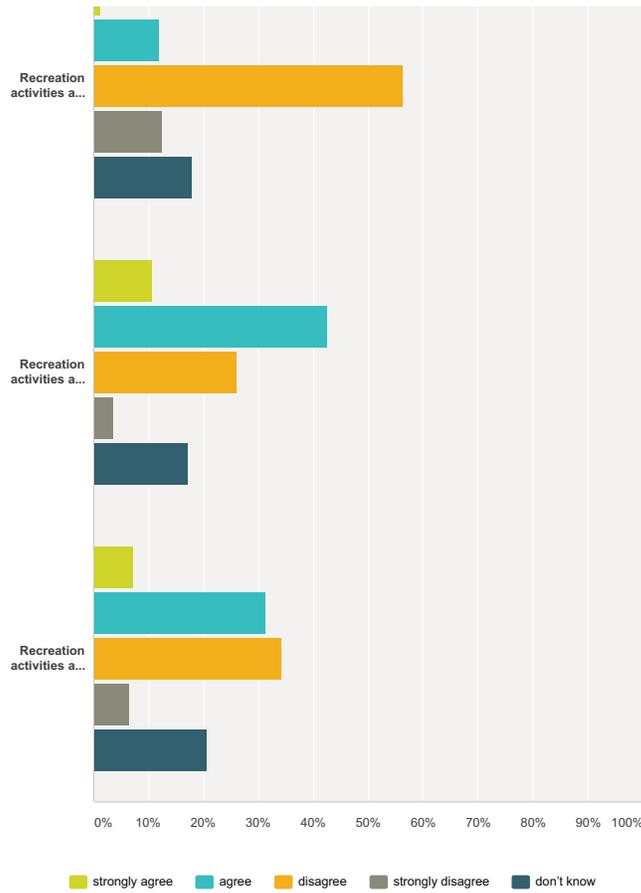
Answered: 172 Skipped: 143



# Riverside Park Survey



## Riverside Park Survey

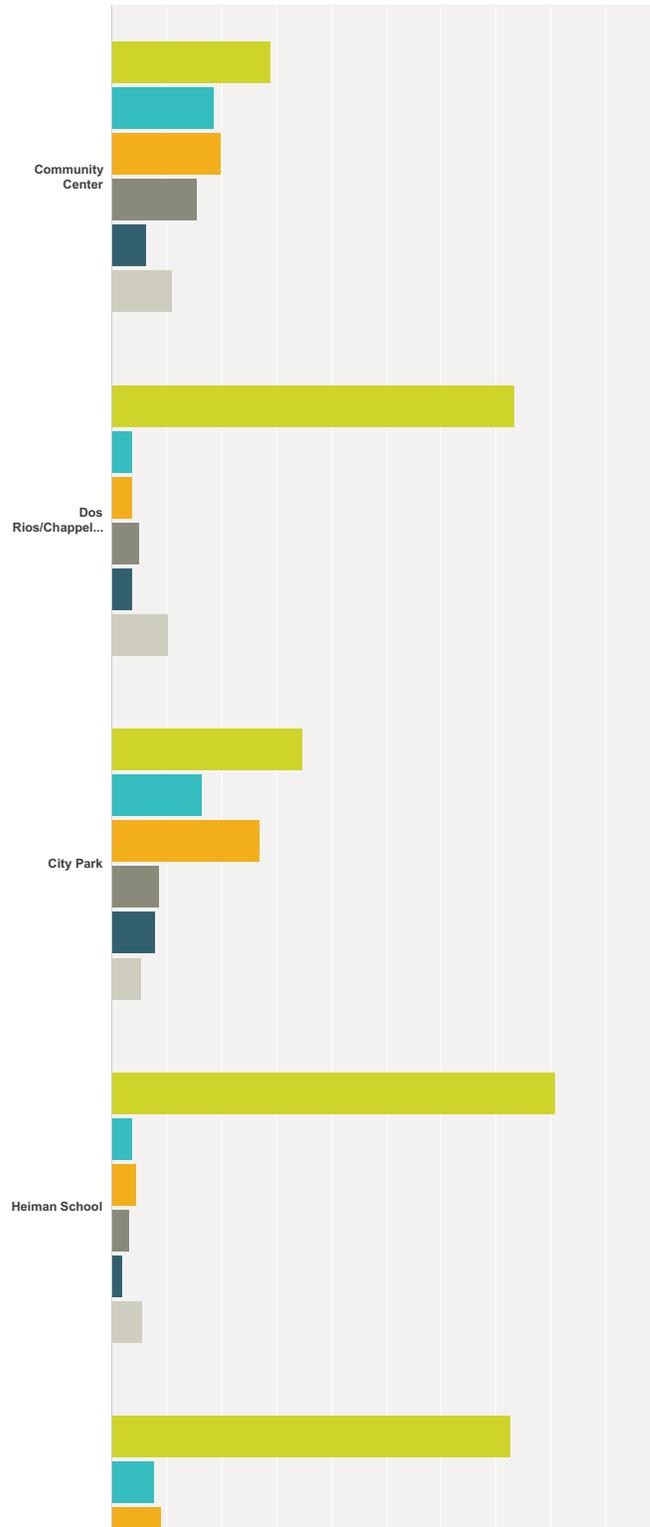


	strongly agree	agree	disagree	strongly disagree	don't know	Total
I am aware of the recreation programs and activities that are offered by the City of Evans	28.49% 49	56.98% 98	8.14% 14	1.74% 3	4.65% 8	172
Overall, I am satisfied with the visual quality and maintenance of the parks	10.53% 18	52.63% 90	23.39% 40	11.11% 19	2.34% 4	171
Overall, I am satisfied with the current level of recreation services and amenities	4.71% 8	37.06% 63	38.82% 66	12.94% 22	6.47% 11	170
I am willing to pay fees for certain recreation opportunities	23.21% 39	55.36% 93	13.10% 22	5.36% 9	2.98% 5	168
It is important to build new facilities for Parks and Recreation	40.00% 68	47.06% 80	8.24% 14	2.35% 4	2.35% 4	170
It is important to maintain existing facilities for Parks and Recreation	57.06% 97	41.76% 71	0.00% 0	1.18% 2	0.00% 0	170
Most of my and/or my family's recreation is done outside of Evans	26.04% 44	39.05% 66	22.49% 38	8.88% 15	3.55% 6	169
The condition of athletic fields is satisfactory	2.37% 4	30.18% 51	31.95% 54	13.61% 23	21.89% 37	169
The City of Evans needs to emphasize preservation and conservation of natural ecosystems and wildlife habitats	27.38% 46	51.79% 87	14.88% 25	1.19% 2	4.76% 8	168
Parks and Recreation is an essential service to the community	59.76% 101	35.50% 60	1.18% 2	1.78% 3	1.78% 3	169
The parks and facilities are generally safe	17.16% 29	64.50% 109	10.65% 18	1.78% 3	5.92% 10	169
Recreation activities are primarily tailored to adults	1.20% 2	11.98% 20	56.29% 94	12.57% 21	17.96% 30	167
Recreation activities are primarily tailored to youths	10.65% 18	42.60% 72	26.04% 44	3.55% 6	17.16% 29	169
Recreation activities are primarily tailored to families	7.10% 12	31.36% 53	34.32% 58	6.51% 11	20.71% 35	169

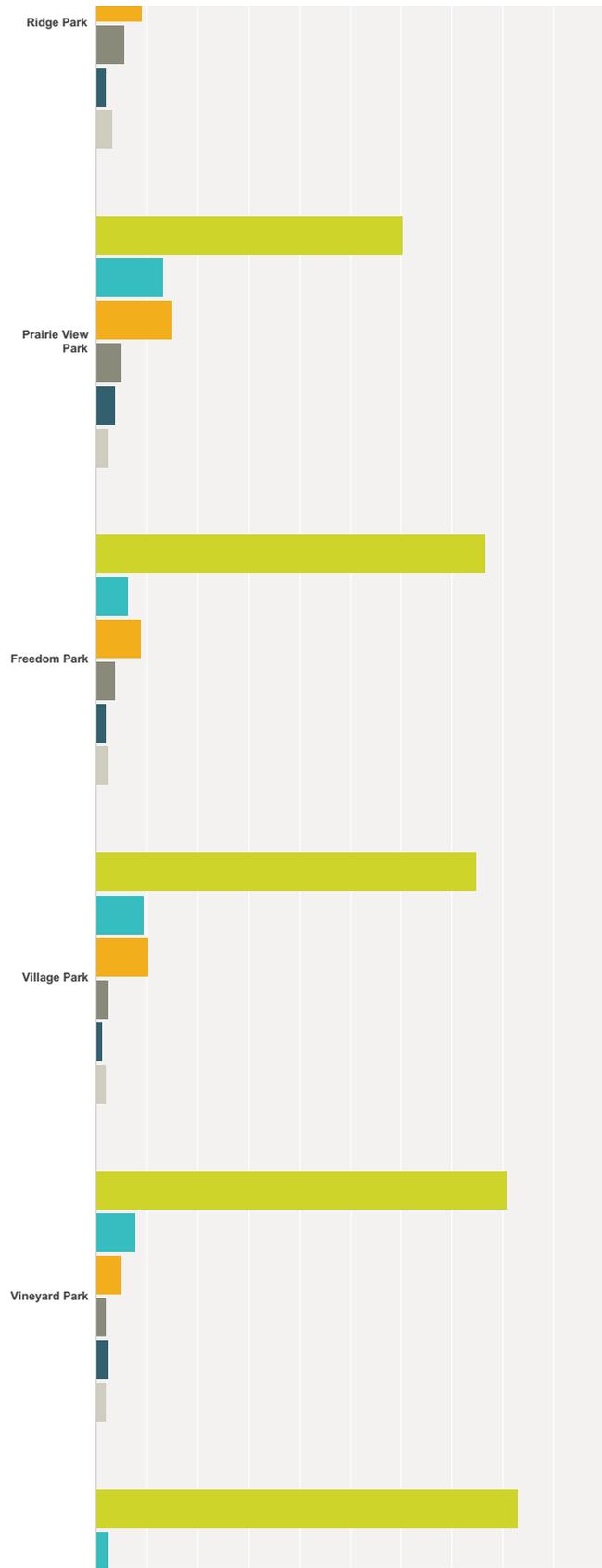
# Riverside Park Survey

**Q14 Please indicate how many times you and/or a member of your family has used the following facilities in the last year.**

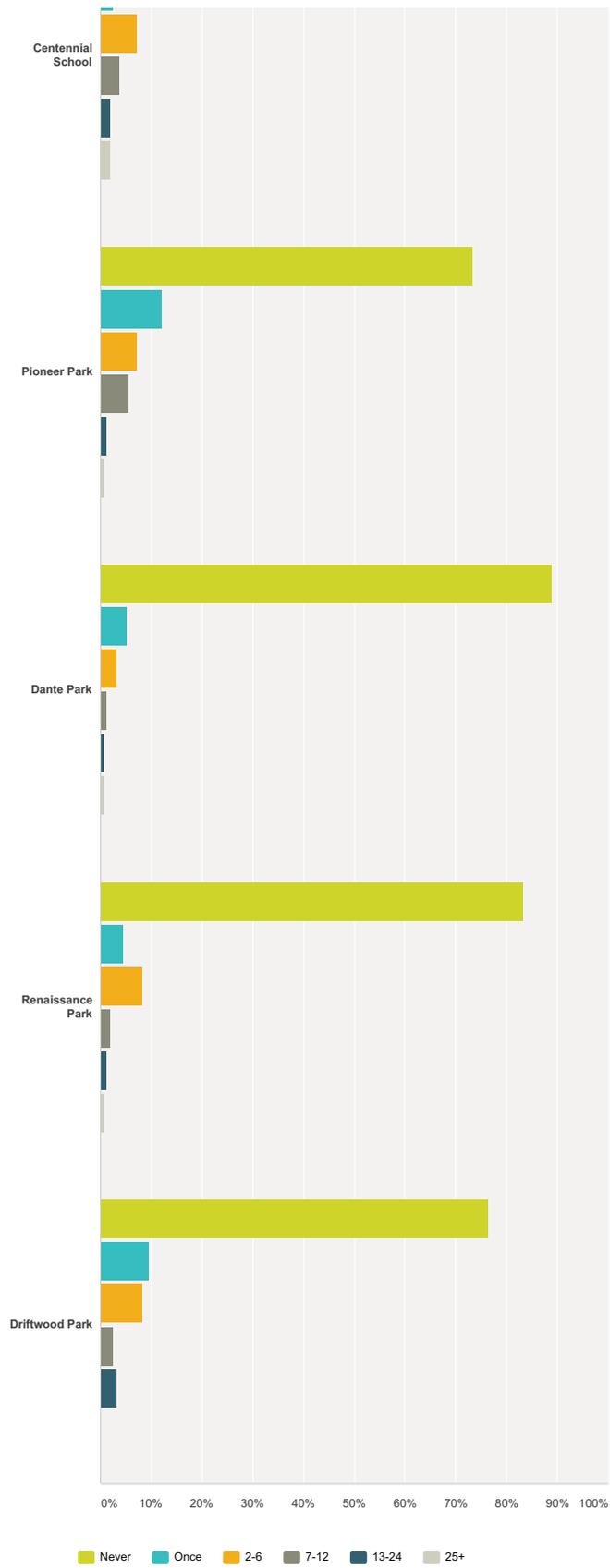
Answered: 165 Skipped: 150



# Riverside Park Survey



# Riverside Park Survey



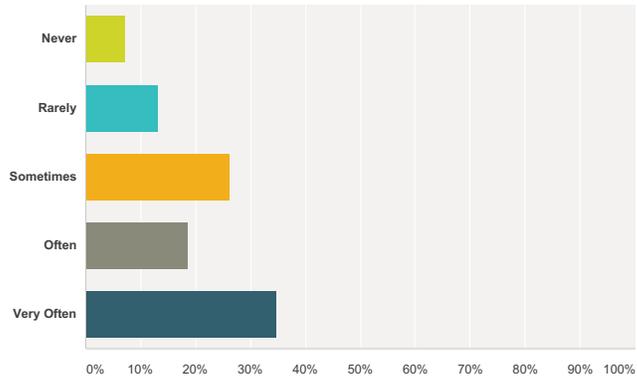
## Riverside Park Survey

	Never	Once	2-6	7-12	13-24	25+	Total
Community Center	29.01% 47	18.52% 30	19.75% 32	15.43% 25	6.17% 10	11.11% 18	162
Dos Rios/Chappelow School	73.25% 115	3.82% 6	3.82% 6	5.10% 8	3.82% 6	10.19% 16	157
City Park	34.76% 57	16.46% 27	26.83% 44	8.54% 14	7.93% 13	5.49% 9	164
Heiman School	80.89% 127	3.82% 6	4.46% 7	3.18% 5	1.91% 3	5.73% 9	157
Ridge Park	72.61% 114	7.64% 12	8.92% 14	5.73% 9	1.91% 3	3.18% 5	157
Prairie View Park	60.38% 96	13.21% 21	15.09% 24	5.03% 8	3.77% 6	2.52% 4	159
Freedom Park	76.58% 121	6.33% 10	8.86% 14	3.80% 6	1.90% 3	2.53% 4	158
Village Park	74.68% 118	9.49% 15	10.13% 16	2.53% 4	1.27% 2	1.90% 3	158
Vineyard Park	80.89% 127	7.64% 12	5.10% 8	1.91% 3	2.55% 4	1.91% 3	157
Centennial School	82.80% 130	2.55% 4	7.01% 11	3.82% 6	1.91% 3	1.91% 3	157
Pioneer Park	73.25% 115	12.10% 19	7.01% 11	5.73% 9	1.27% 2	0.64% 1	157
Dante Park	89.03% 138	5.16% 8	3.23% 5	1.29% 2	0.65% 1	0.65% 1	155
Renaissance Park	83.33% 130	4.49% 7	8.33% 13	1.92% 3	1.28% 2	0.64% 1	156
Driftwood Park	76.43% 120	9.55% 15	8.28% 13	2.55% 4	3.18% 5	0.00% 0	157

## Riverside Park Survey

**Q15 Prior to the September 2013 floods, how often did you and/or a member of your family use Riverside Park?**

Answered: 167 Skipped: 148

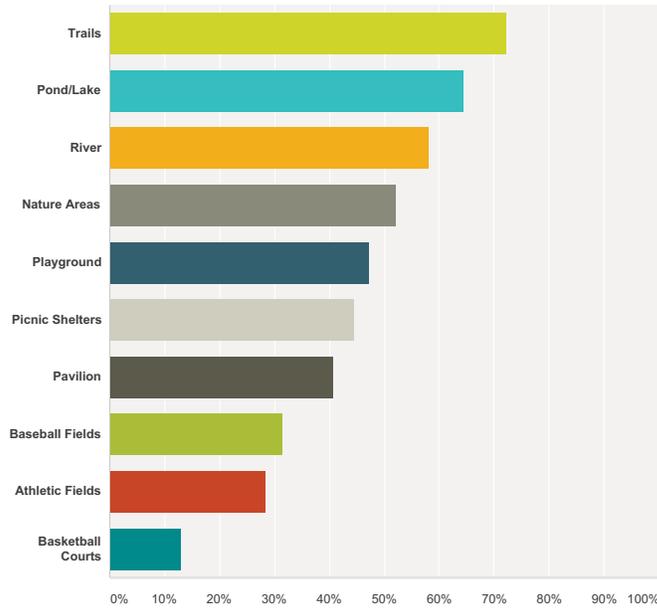


Answer Choices	Responses
Never	7.19% 12
Rarely	13.17% 22
Sometimes	26.35% 44
Often	18.56% 31
Very Often	34.73% 58
<b>Total</b>	<b>167</b>

# Riverside Park Survey

## Q16 What amenities did you and/or your family use when visiting Riverside Park? (Check all that apply)

Answered: 155 Skipped: 160

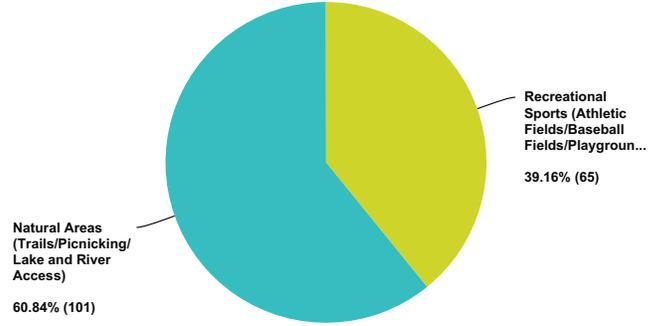


Answer Choices	Responses	Count
Trails	72.26%	112
Pond/Lake	64.52%	100
River	58.06%	90
Nature Areas	52.26%	81
Playground	47.10%	73
Picnic Shelters	44.52%	69
Pavilion	40.65%	63
Baseball Fields	31.61%	49
Athletic Fields	28.39%	44
Basketball Courts	12.90%	20
<b>Total Respondents: 155</b>		

# Riverside Park Survey

## Q17 Should the reconstruction of Riverside Park favor:

Answered: 166 Skipped: 149

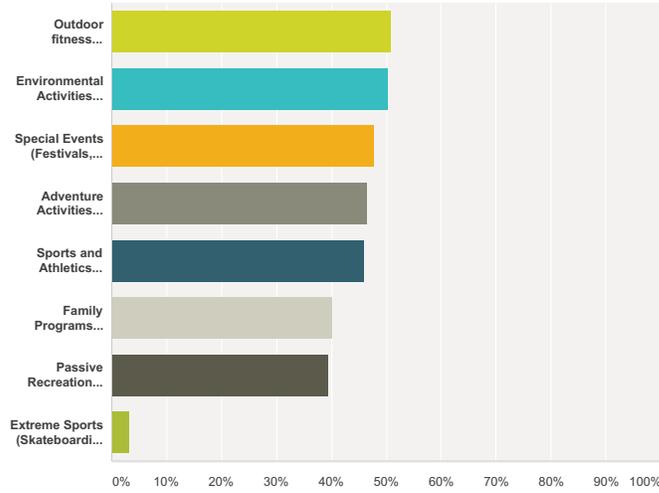


Answer Choices	Responses	
Recreational Sports (Athletic Fields/Baseball Fields/Playgrounds/Basketball Courts)	39.16%	65
Natural Areas (Trails/Picnicking/Lake and River Access)	60.84%	101
<b>Total</b>		<b>166</b>

# Riverside Park Survey

## Q18 For what reasons did you and/or your family use Riverside Park? (Check all that apply)

Answered: 157 Skipped: 158

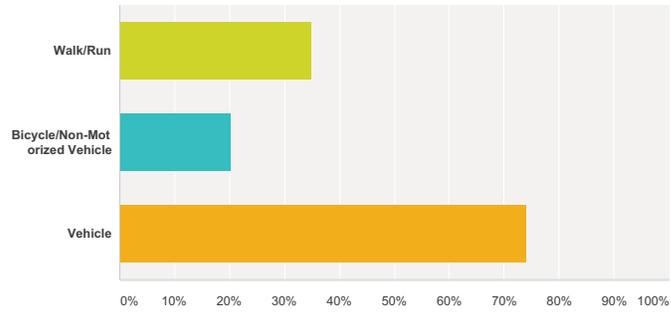


Answer Choices	Responses
Outdoor fitness (In-Line skating, running, walking, biking, etc.)	50.96% 80
Environmental Activities (Nature study, nature walks, bird watching, etc.)	50.32% 79
Special Events (Festivals, shows, fairs, parades, etc.)	47.77% 75
Adventure Activities (Hiking, kayaking/canoeing, fishing, etc.)	46.50% 73
Sports and Athletics (Baseball, soccer, basketball, football, tennis, etc.)	45.86% 72
Family Programs (Parties, family nights, etc.)	40.13% 63
Passive Recreation (People watching, enjoying scenery, etc.)	39.49% 62
Extreme Sports (Skateboarding, BMX biking, snowshoeing, etc.)	3.18% 5
<b>Total Respondents: 157</b>	

# Riverside Park Survey

## Q19 How did you travel to Riverside Park?

Answered: 158 Skipped: 157

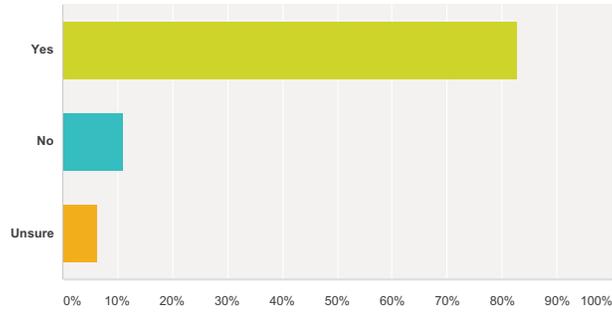


Answer Choices	Responses
Walk/Run	34.81% 55
Bicycle/Non-Motorized Vehicle	20.25% 32
Vehicle	74.05% 117
<b>Total Respondents: 158</b>	

# Riverside Park Survey

## Q20 Prior to the flooding, was Riverside Park easily accessible?

Answered: 162 Skipped: 153

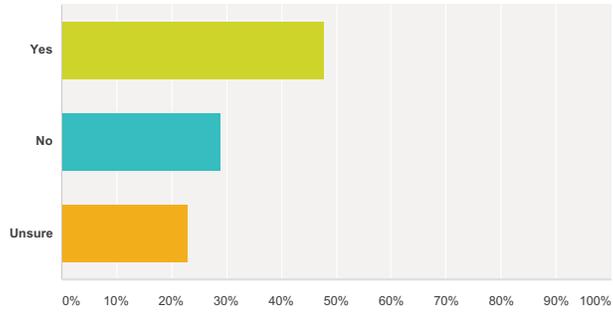


Answer Choices	Responses	
Yes	82.72%	134
No	11.11%	18
Unsure	6.17%	10
<b>Total</b>		<b>162</b>

# Riverside Park Survey

## Q21 Would additional entrances be useful in allowing access to Riverside Park?

Answered: 165 Skipped: 150

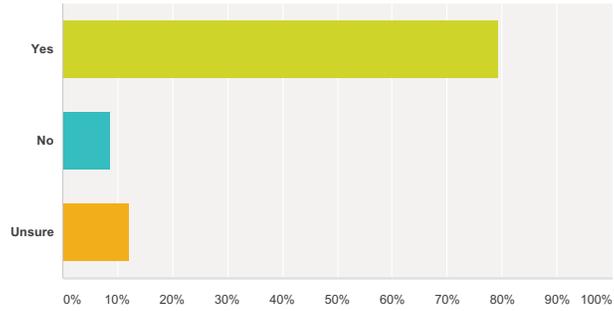


Answer Choices	Responses
Yes	47.88% 79
No	29.09% 48
Unsure	23.03% 38
<b>Total</b>	<b>165</b>

## Riverside Park Survey

**Q22 If more and better trails were provided to areas along the South Platte River, would you use Riverside Park amenities more often?**

Answered: 164 Skipped: 151

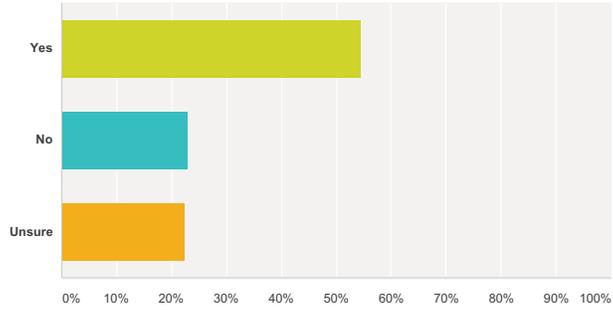


Answer Choices	Responses
Yes	79.27% 130
No	8.54% 14
Unsure	12.20% 20
<b>Total</b>	<b>164</b>

## Riverside Park Survey

**Q23 If better access was provided to areas along the South Platte River for tubing, kayaking and canoeing drop-offs, would you use Riverside Park amenities more often?**

Answered: 165 Skipped: 150

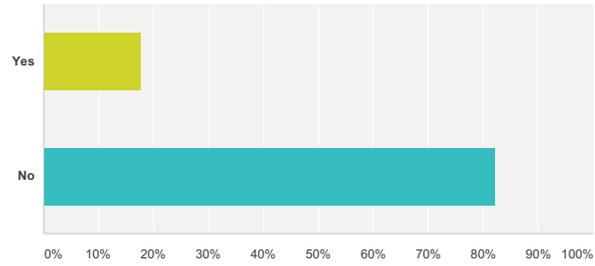


Answer Choices	Responses
Yes	54.55% 90
No	23.03% 38
Unsure	22.42% 37
<b>Total</b>	<b>165</b>

# Riverside Park Survey

## Q24 Have you ever had problems finding parking when visiting Riverside Park?

Answered: 157 Skipped: 158



Answer Choices	Responses	
Yes	17.83%	28
No	82.17%	129
<b>Total</b>		<b>157</b>

## Riverside Park Survey

**Q25 If you have had problems parking, please list all events that you attended at Riverside Park that there was insufficient parking for.**

Answered: 25 Skipped: 290

#	Responses	Date
1	Soccer, Flag football	8/26/2014 8:05 PM
2	Summer Competitive Baseball Tournaments	8/18/2014 8:38 PM
3	ball games&special evants	8/18/2014 5:16 PM
4	Parking was only at HWY 85 unless you were fishing or going to ball game	8/18/2014 4:08 PM
5	Evans Fest, Softball	8/18/2014 12:52 PM
6	Evans days and sometime fishing area lake	8/18/2014 7:30 AM
7	Baseball	8/18/2014 7:18 AM
8	fireworks, Evans Fest	8/12/2014 5:34 PM
9	None	8/11/2014 12:35 PM
10	Evansfest	8/11/2014 12:25 PM
11	baseball	8/9/2014 11:51 AM
12	softball; Evansfest	8/7/2014 11:02 AM
13	Evans fest, reni. fair.	8/5/2014 3:30 PM
14	Evans Days	8/5/2014 12:45 AM
15	baseball	8/4/2014 8:57 PM
16	Only problems were children's sports (softball/soccer) to be expected. Evans Fest, also to be expected.	8/3/2014 3:10 PM
17	Evans Days	7/31/2014 10:13 AM
18	Needs better signage as to the park hours	7/30/2014 11:31 PM
19	During Evans Fest and Sporting events people park all over and safety becomes an issue. Paved surfaces and clearly marked lines would help w/ parking.	7/30/2014 4:45 PM
20	All youth sporting events.	7/29/2014 8:25 PM
21	Soccer fields, parked in dirt	7/29/2014 6:48 PM
22	Evansfest Soccer	7/29/2014 6:19 PM
23	EvansFest	7/29/2014 2:51 PM
24	Baseball games, Evans days,warm sunny days when we want to play outside ....	7/28/2014 4:30 PM
25	Weekends in general near lake, can be full.	7/28/2014 8:33 AM

## Riverside Park Survey

### Q26 What would you like to see in the reconstructed Riverside Park?

Answered: 83 Skipped: 232

#	Responses	Date
1	The fields firstly, and then water pad, tubing kayak access and nice pool. I think we need bigger park :)	8/26/2014 8:05 PM
2	A bigger workout facility with more equipment!	8/26/2014 3:39 PM
3	Restore previous condition.	8/23/2014 6:32 PM
4	open space	8/20/2014 9:48 AM
5	Open space, soccer fields, ponds and picnic areas, small amphitheatre for summer shows and events	8/19/2014 8:31 PM
6	Natural areas, flood control purposes..play to its strength - it is a unique natural area in the Evans/Greeley area. Celebrate that fact by re-developing the trails and making the river more accessible. It's "Riverside" but in most of the park, you can't even see the South Platte until you're up on the hill.	8/19/2014 3:53 PM
7	golf	8/19/2014 11:39 AM
8	Bigger play ground for kids of all ages more nature walks	8/19/2014 10:39 AM
9	Better lighting, parking, and seating around sports fields	8/19/2014 8:20 AM
10	Additional lighting, especially at night	8/18/2014 8:38 PM
11	Walking trails, dog park area	8/18/2014 6:11 PM
12	inline speed skating track now that we have a speed skating coach in Evans that works at the Olympic Training Center and would be happy to work with youth here in Evans and let them Dream for the Gold	8/18/2014 5:17 PM
13	fast	8/18/2014 5:16 PM
14	unsure	8/18/2014 4:08 PM
15	Tennis Courts	8/18/2014 12:52 PM
16	An amphi-theater with a floating stage	8/18/2014 11:56 AM
17	I think shaded picnic areas, a pavilion with concession opportunities,baseball, softball fields and trails that may lead to river acceses.	8/18/2014 10:23 AM
18	Excellent river access, pond fishing, and trails.	8/18/2014 10:18 AM
19	Help protect the properties along the River so they do not flood again. I live on the south side of the South Platte river across from Riverside. People would break bottles/beer/glass in the river, wade across the river and destroy private property duck blinds shelters. I suggest if you re-construct the river front that you help protect the privacy and property of the residences along the river	8/18/2014 8:26 AM
20	paved parking lot	8/18/2014 8:10 AM
21	possibly concession machines for drinks	8/18/2014 7:30 AM
22	WALKING TRAILS AND MORE RIVER ACCESS	8/13/2014 5:16 PM
23	A mountain bike park. With a pump track, rock gardens, and a jump section.	8/13/2014 12:11 PM
24	MORE TRAILS WITH REST AREAS (BENCHES, ETC)	8/13/2014 11:31 AM
25	Nature trails and ballfields	8/12/2014 7:05 PM
26	flood plain mitigation, lower level of possible damage to equipment/buildings due to future flooding	8/12/2014 5:34 PM
27	Trails, River Access	8/11/2014 12:35 PM
28	A park that would mirror the community	8/11/2014 12:08 PM
29	Better protection for the houses in the area.	8/11/2014 11:00 AM
30	the trails and ballfields	8/10/2014 8:01 AM
31	dolphins, fish, turtles, whales, dinosaur bones, splash park, a bus zone	8/9/2014 3:03 PM
32	Turtles, splash park, dog park	8/9/2014 1:23 PM
33	I would like to see a water park automatic (on and off by itself).I would also like to see play grounds and turtles/any aquatic animals.On the play ground I would like to see swings, big slides, and, a sand box were you could look for dino bone.Also a HUGE POND with a island in the middle,and i would like to see poeple catching fish.One big thing i would like to see is a dog park and not be seperated from the lake/park.i would aslo want bathrooms there too and not trashed/with sope too!One thing for the kid's playground is to also make the kids to be learning while the kids are having fun.Also MAKE NO MOSQUITOES there.Add benches too so poeple could sit and have a pic nic at the table/bench.i would also like to see sports there too (football,soccer,tennis,volleyball games).Also i would like to see trees and wild life there.There should be a big board where poeple could put there name there and soon 20 years later poeple could see what this park ment to so many people.	8/9/2014 1:05 PM
34	Turtles, fish, big playground with splash feature, volleyball and tennic courts.	8/9/2014 12:22 PM
35	Some sort of splash park/pad feature incorporated into the playground area.	8/9/2014 12:03 PM
36	baseball, soccer, areas to sit	8/9/2014 11:51 AM
37	ballfields and trails	8/9/2014 9:35 AM
38	More trails and better access to the river	8/8/2014 12:51 PM
39	just clean it up & reestablish trails & access to pond, river & ball fields.	8/8/2014 12:27 PM

## Riverside Park Survey

40	Trails both walking and bike. Be nice if we can have separate trails for each to separate bikes from walkers/runners. Open space, nature watching areas, river access, and pavilion	8/7/2014 6:24 PM
41	Separate Trails for Pedestrian and Bikes - Possible BMX Trail for bikes.	8/7/2014 4:53 PM
42	river access	8/7/2014 11:02 AM
43	I would like to see crusher fines trails as they are less expensive, attractive, and easy to maintain as graffiti is a continual issue in the area.	8/7/2014 10:30 AM
44	More trails for running/horseback riding, easier access to the river	8/6/2014 11:31 AM
45	more covered picnic areas	8/5/2014 3:30 PM
46	A multi-use recreational trail that is connected to the other regional bike pathways/trails.	8/5/2014 3:26 PM
47	Keep the two entrances, but keep them separated. The West entrance can focus on the natural areas and the North entrance can be primarily used for sports recreation.	8/5/2014 8:57 AM
48	Access via Eastwood park with extra parking, and a modest memorial.	8/5/2014 12:45 AM
49	baseball fields, access to river, trails, picnic areas	8/4/2014 8:57 PM
50	a swimming pool	8/4/2014 4:20 PM
51	Better playground for all ages, and more swings. Trails for biking/walking	8/4/2014 7:56 AM
52	more nature walks and clean up of fishing pond and area. It was always unkept and a mess. I like to pick up when I walk, but it was always so messy, I made no progress.	8/3/2014 3:10 PM
53	Open fields/nature areas with trails; river access; an additional soccer field; Extend the park to cover the area where Eastwood village is situated.	8/3/2014 1:30 PM
54	The bike/hiking trail. I live so close to the park and would often go on my bike rides there because it was closer than the Poudre trail. It would be nice to see Greeley and Evans work together to connect the trails.	8/3/2014 7:39 AM
55	the basefields	7/31/2014 11:29 PM
56	More picnic sites around the lake. Fix the trails. Small playground by the picnic gazebo on the west side of the park. Minimize lighting at the ball fields when they are not being utilized-create a natural screen of some sort between the ball fields and neighborhood homes-the lighting from the fields has historically been extremely annoying.	7/31/2014 6:47 PM
57	My focus is on nature, walking, hiking, bicycling, fishing, both in the pond and river. Restrooms would be really good.	7/31/2014 3:47 PM
58	I definitely want to see a walking trail since that is what my family and dogs used the most. I think that the baseball fields are important, as is a place to fish.	7/31/2014 2:29 PM
59	More playground area for younger kids; and more swings. We loved the trails and used them often; always wanted to canoe in the lake/ river but never have	7/31/2014 1:02 PM
60	Trails, fishing, non-motorized boating, picnic areas, playgrounds, public art, giant checkers game, giant chess game, giant animal statues to climb on	7/31/2014 9:39 AM
61	Eastwood village area incorporated into the park as new ball fields or natural area	7/30/2014 11:31 PM
62	The nature trails and the picnic pavilion as well as the playground.	7/30/2014 5:59 PM
63	For safety reasons a fencing between park and previous mobile home park. Trails, soccer field and ball fields, basketball courts, open spaces with mini shelters for larger community events (add more shelter than previous).	7/30/2014 4:45 PM
64	More fields. I work for Triple Crown Sports out of Fort Collins and we run a lot of youth baseball and fastpitch tournaments up in Northern Colorado all through April, May, June and July and we use all the fields in Loveland, Greeley, Fort Collins and Windsor and got to use Riverside once before the floods and loved it. If you guys had more fields or even just 4 again we would use you guys a majority of our weekends. the more fields you can build the better. you can reach me for more information	7/30/2014 2:24 PM
65	a baseball facility (fields, concessions), natural river walk area, nature learning opportunity	7/30/2014 12:30 PM
66	Turn back to its natural condition, so with the next flood there won't be any damage to facilities and in the end a lot of money. Or utilize that area as a gravel mining operation, making money for the City, assuming they own the mineral right, once that operation is complete, utilize it as water storage for augmentation & recreation.	7/29/2014 8:25 PM
67	Large soccer field for extreme soccer and cross country jogging trail	7/29/2014 6:48 PM
68	Natural open space	7/29/2014 2:51 PM
69	The ball fields, and with strong backing from the Oil and Gas industry one would hope we could help in the re-building process	7/29/2014 2:25 PM
70	Trails and access to the river	7/28/2014 10:42 PM
71	Open land with more picnic tables and walking trails with benches the pond are open to fish again maybe some decorative fountains with some kind of play area or splash park for kids	7/28/2014 8:34 PM
72	The park was wonderful the way it was -- we went atleast 4 times a week to play at the park or go for a walk.	7/28/2014 8:27 PM
73	Much of what was already there but a splash park would be a good addition. Possibly in place of basketball courts as they have them at city park only 3 blocks away.	7/28/2014 8:03 PM
74	Trails, pond, and river access. Please!! We miss it so much!	7/28/2014 6:51 PM
75	More outdoor things for everyone, not just baseball....	7/28/2014 4:30 PM
76	I would really love to see a combined use of sports/athletic activities, adventure activities, and environmental activities. I think that these would balance and create a cohesive existence with the new library going in as well.	7/28/2014 3:05 PM
77	More ways for families to enjoy the outdoors.	7/28/2014 2:22 PM
78	Activities/programs that the youth and families in the community can use to promote positive social skills.	7/28/2014 1:40 PM
79	Disc golf course.	7/28/2014 9:46 AM

## Riverside Park Survey

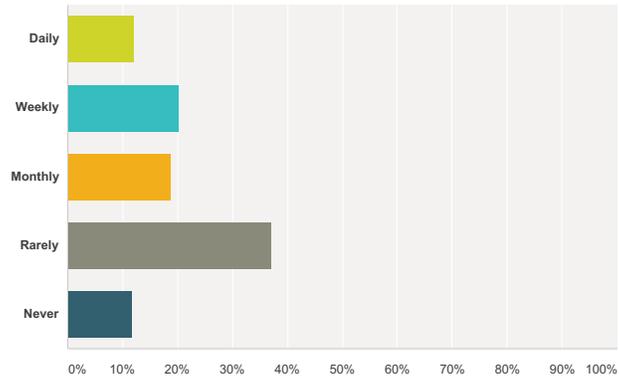
80	Same as before but more nature access	7/28/2014 9:33 AM
81	Larger lake, less intense use, more path options, more seating along paths	7/28/2014 8:54 AM
82	Larger lake with swim beach, more open space, natural amphitheater, and learning opportunities for schools and kids	7/28/2014 8:50 AM
83	More picnic pavilions near lake and river.	7/28/2014 8:33 AM



## Riverside Park Survey

**Q27 If you live outside of the Historic Evans area, how often did you visit the Historic Evans area before the flood of 2013:**

Answered: 207 Skipped: 108

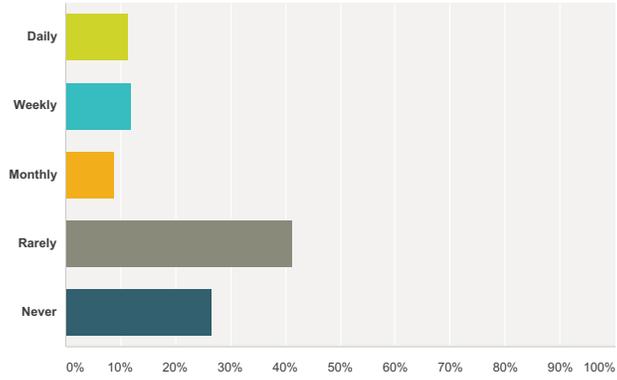


Answer Choices	Responses	
Daily	12.08%	25
Weekly	20.29%	42
Monthly	18.84%	39
Rarely	37.20%	77
Never	11.59%	24
<b>Total</b>		<b>207</b>

## Riverside Park Survey

**Q28 If you live outside of the Historic Evans area, how often did you visit the Historic Evans area after the flood of 2013:**

Answered: 203 Skipped: 112

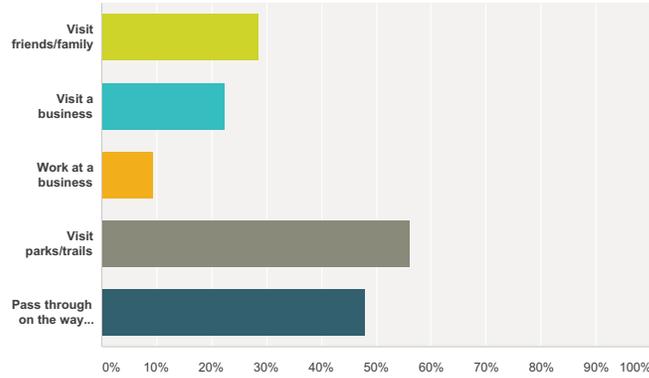


Answer Choices	Responses	Count
Daily	11.33%	23
Weekly	11.82%	24
Monthly	8.87%	18
Rarely	41.38%	84
Never	26.60%	54
<b>Total</b>		<b>203</b>

# Riverside Park Survey

## Q29 When you visit/visited the Historic Evans Area, do/did you: (Check all that apply)

Answered: 192 Skipped: 123



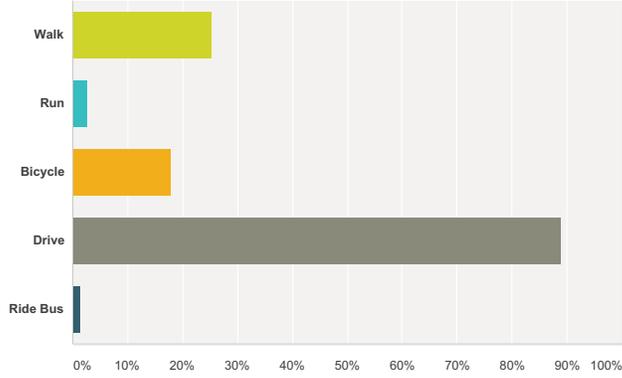
Answer Choices	Responses
Visit friends/family	28.65% 55
Visit a business	22.40% 43
Work at a business	9.38% 18
Visit parks/trails	56.25% 108
Pass through on the way to/from places	47.92% 92
<b>Total Respondents: 192</b>	

#	Other (please specify)	Date
1	new Library	8/21/2014 4:45 PM
2	Church	8/21/2014 4:22 PM
3	Evans day	8/21/2014 9:38 AM
4	n/a	8/21/2014 9:31 AM
5	Clean out flooded home	8/21/2014 9:26 AM
6	Yard sales	8/21/2014 8:53 AM
7	Brought supplies & food to flood victims.	8/21/2014 8:45 AM
8	Evans WWTP	8/19/2014 9:36 AM
9	Police Patrol	8/18/2014 8:40 PM
10	I live here	8/18/2014 10:23 AM
11	Church	8/18/2014 7:32 AM
12	check trailer park clean up	8/12/2014 5:40 PM
13	I work for the city. I go there for work.	8/5/2014 9:01 AM
14	church	8/4/2014 8:30 PM
15	church	8/4/2014 4:21 PM
16	go to church	7/31/2014 11:31 PM
17	church	7/29/2014 8:26 PM
18	Evans Chamber	7/29/2014 2:52 PM

# Riverside Park Survey

## Q30 How do/did you travel within or to the Historic Evans Area?

Answered: 217 Skipped: 98



Answer Choices	Responses
Walk	25.35% 55
Run	2.76% 6
Bicycle	17.97% 39
Drive	88.94% 193
Ride Bus	1.38% 3
<b>Total Respondents: 217</b>	

#	Other (please specify)	Date
1	Car	8/21/2014 1:31 PM
2	n/a	8/21/2014 9:31 AM

## Riverside Park Survey

### Q31 What do you like most about the Historical Evans Area today?

Answered: 100 Skipped: 215

#	Responses	Date
1	Looking forward to the library.	8/27/2014 4:19 PM
2	That it survived	8/26/2014 8:10 PM
3	Its the area where we grew up.	8/25/2014 3:05 PM
4	Friendly neighborhood	8/22/2014 9:11 AM
5	Yard sales	8/22/2014 9:08 AM
6	Old-fashioned neighborhood.	8/22/2014 8:56 AM
7	History	8/22/2014 8:44 AM
8	I've never been there; I'm new to the area.	8/21/2014 5:03 PM
9	It has character.	8/21/2014 5:00 PM
10	older homes	8/21/2014 4:49 PM
11	The connection to the people and the Library.	8/21/2014 4:45 PM
12	Old filling	8/21/2014 4:39 PM
13	The history about it.	8/21/2014 4:34 PM
14	The old buildings and new work.	8/21/2014 4:30 PM
15	Historical structures	8/21/2014 4:13 PM
16	Nice looking places.	8/21/2014 3:45 PM
17	Going to the Park.	8/21/2014 3:33 PM
18	Hardly stop or notice but Historic area.	8/21/2014 3:23 PM
19	Used to go to a lake that is shut down now.	8/21/2014 2:50 PM
20	Our kids	8/21/2014 2:22 PM
21	All the history behind it and the trail park.	8/21/2014 2:08 PM
22	The open spaces and historic buildings.	8/21/2014 2:03 PM
23	Quiet	8/21/2014 1:54 PM
24	n/a	8/21/2014 1:37 PM
25	They are building a library.	8/21/2014 1:31 PM
26	The parks.	8/21/2014 11:56 AM
27	The history of Evans.	8/21/2014 11:28 AM
28	Community Center	8/21/2014 11:23 AM
29	It is quiet.	8/21/2014 11:19 AM
30	The history of Evans lies within those houses.	8/21/2014 11:01 AM
31	This event	8/21/2014 10:31 AM
32	The new library	8/21/2014 10:27 AM
33	That my family is always safe.	8/21/2014 10:13 AM
34	Community affairs, Evans Day	8/21/2014 10:10 AM
35	It is historic	8/21/2014 10:00 AM
36	It looks good.	8/21/2014 9:52 AM
37	Park and bike trails	8/21/2014 9:38 AM
38	n/a	8/21/2014 9:31 AM
39	location and park	8/21/2014 9:26 AM
40	How the community is looking better.	8/21/2014 9:08 AM
41	Riverside Park	8/21/2014 9:03 AM
42	Good yard sales and enjoy talking to people	8/21/2014 8:53 AM
43	Architecture	8/20/2014 4:44 PM
44	Haven't been back since the flood.	8/20/2014 4:25 PM
45	Parks	8/20/2014 4:19 PM
46	I haven't been there for a long time.	8/20/2014 4:09 PM
47	The trees and unique homes	8/19/2014 8:33 PM
48	The big trees, City Park, Riverside Park	8/19/2014 3:55 PM

## Riverside Park Survey

49	The new improvements under construction.	8/18/2014 8:40 PM
50	a Victorian home just west of the flood area that survived	8/18/2014 5:23 PM
51	not been since flood	8/18/2014 4:09 PM
52	It's quiet	8/18/2014 12:53 PM
53	The history	8/18/2014 11:57 AM
54	The quietness of the neighborhoods	8/18/2014 10:23 AM
55	I like it as it is now, leave it alone!	8/18/2014 8:54 AM
56	memories	8/18/2014 8:11 AM
57	quiet streets with large trees	8/18/2014 7:32 AM
58	Not sure. Have only driven through once since the flood	8/13/2014 12:13 PM
59	Quiet the neighbors character	8/12/2014 7:07 PM
60	Schwartz's	8/12/2014 5:40 PM
61	New library; clean-up progress	8/11/2014 2:20 PM
62	Riverside Park	8/11/2014 2:00 PM
63	It's nice and quiet and no trouble with drug people. I love to walk in the park and play ball.	8/11/2014 1:50 PM
64	Older homes, relaxed slightly structured layout, farm/garden properties	8/11/2014 12:37 PM
65	The community is awesome	8/11/2014 12:09 PM
66	It is a nice quiet place.	8/11/2014 11:38 AM
67	The redevelopment after the flood and super-excited about the library.	8/11/2014 11:10 AM
68	New Library	8/11/2014 10:55 AM
69	old houses, mature landscaping, family friendly, quiet, mostly single-family homes, access to parks, river	8/11/2014 10:21 AM
70	the small town feeling	8/10/2014 8:02 AM
71	the small town feeling	8/9/2014 9:36 AM
72	Small town community feeling to area	8/7/2014 6:26 PM
73	Small Home Town Feeling of the area	8/7/2014 4:57 PM
74	new library	8/7/2014 11:56 AM
75	library building; cleanup	8/7/2014 11:03 AM
76	Development of the Library, and looking forward to the redevelopment of Riverside Park.	8/7/2014 10:34 AM
77	its very quiet	8/5/2014 9:26 PM
78	It has a nice historic feel that can be rejuvenated.	8/5/2014 9:01 AM
79	the new signage	8/4/2014 4:21 PM
80	Quiet neighborhood	8/4/2014 2:44 PM
81	Have avoided the area. I really need to drive through and check it out.	8/3/2014 3:13 PM
82	combination of kept grounds and nature areas	8/3/2014 1:32 PM
83	I am excited about the Riverside Library and Cultural Center coming soon.	7/31/2014 3:49 PM
84	Library going up	7/31/2014 1:04 PM
85	No more trailer parks	7/30/2014 11:32 PM
86	I live here. I like that it is quiet.	7/30/2014 6:00 PM
87	Quiet, lots of shade.	7/30/2014 4:48 PM
88	the new library and culture center that is being built	7/30/2014 10:09 AM
89	Not much.	7/29/2014 8:26 PM
90	Quite, diversity and beauty	7/29/2014 5:41 PM
91	The Recreation Center	7/29/2014 2:26 PM
92	Your in the city with a country feel	7/28/2014 8:35 PM
93	Not a lot.	7/28/2014 6:52 PM
94	I was born and raised here, I Love everything about it I want it back....cleaned up and open so we can use it...	7/28/2014 4:38 PM
95	It's an aged quiet neighborhood with a nice sense of history.	7/28/2014 3:08 PM
96	The historic charm.	7/28/2014 9:48 AM
97	River trail for biking and walking	7/28/2014 9:23 AM
98	Quiet, small town atmosphere.	7/28/2014 8:55 AM
99	Eclectic area	7/28/2014 8:53 AM
100	The feel of quieter neighborhood.	7/28/2014 8:35 AM

## Riverside Park Survey

### Q32 What do you like least about the Historical Evans Area?

Answered: 102 Skipped: 213

#	Responses	Date
1	there's nothing historical about it	8/29/2014 9:12 AM
2	Poor condition of many of the homes, condition of Riverside park, lack of businesses.	8/27/2014 4:19 PM
3	Accessibility	8/26/2014 8:10 PM
4	Old run down buildings/houses and no sidewalks.	8/25/2014 3:05 PM
5	none	8/22/2014 9:11 AM
6	n/a	8/22/2014 9:08 AM
7	The flood.	8/22/2014 8:56 AM
8	It's a mess.	8/22/2014 8:53 AM
9	n/a	8/22/2014 8:44 AM
10	Dirt roads.	8/21/2014 5:00 PM
11	Fenced off park.	8/21/2014 4:52 PM
12	needs to be cleaned up after the flood.	8/21/2014 4:49 PM
13	Just needs to be freshened up a little - more modern while maintaining history.	8/21/2014 4:45 PM
14	n/a	8/21/2014 4:39 PM
15	Needs to be better cleaned up, in a faster matter.	8/21/2014 4:34 PM
16	Remains of the flood.	8/21/2014 4:30 PM
17	Damage to Old Town Evans, cannot go walking on the trails any more.	8/21/2014 4:26 PM
18	Blight and properties in disrepair.	8/21/2014 4:13 PM
19	Some neighborhoods look trashy.	8/21/2014 3:45 PM
20	n/a	8/21/2014 3:33 PM
21	Hardly stop or notice but Historic area.	8/21/2014 3:23 PM
22	The damage the flood left.	8/21/2014 2:50 PM
23	The trailers	8/21/2014 2:22 PM
24	Miss the walk at Riverside.	8/21/2014 2:16 PM
25	Truck stop.	8/21/2014 2:08 PM
26	n/a	8/21/2014 2:03 PM
27	n/a	8/21/2014 1:37 PM
28	Fear of contaminates and blight.	8/21/2014 11:56 AM
29	It is damaged.	8/21/2014 11:28 AM
30	Riverside area	8/21/2014 11:23 AM
31	It is hard not see anything I didn't like.	8/21/2014 11:19 AM
32	The flood that destroyed so much history.	8/21/2014 11:01 AM
33	The flood damage	8/21/2014 10:27 AM
34	Graffiti painting	8/21/2014 10:13 AM
35	n/a	8/21/2014 9:52 AM
36	Weeds and often appears poorly maintained.	8/21/2014 9:49 AM
37	n/a	8/21/2014 9:31 AM
38	The flood	8/21/2014 9:16 AM
39	Cleanup is slow.	8/21/2014 9:08 AM
40	Nothing	8/21/2014 8:53 AM
41	Lack of people	8/20/2014 4:44 PM
42	Not sure - haven't seen it lately.	8/20/2014 4:25 PM
43	?	8/20/2014 4:19 PM
44	Not much to do for adults or college students	8/20/2014 11:39 AM
45	Lack of small, quaint restaurants. (only the krautburger place is there)	8/19/2014 8:33 PM
46	Too many dilapidated houses, the area north of 37th Street.	8/19/2014 3:55 PM
47	crime amongst residents	8/19/2014 8:21 AM
48	The appearance of some of the buildings. It seems as if some areas are "run down" and not being attended to.	8/18/2014 8:40 PM

## Riverside Park Survey

49	Junk allowed around homes. No respect for the neighborhoods, junk cars, junk furniture, trashy areas, it seems there are no laws or no one unholds them to clean up your property so your next store neighbors don't have to live next to a dump. It brings down the whole neighborhood.....Like Old Hill N Park Or East of the Tracks Evans, How about 11th ave area. The list goes on. If you want to clean up the park how about the neighborhoods that go along with it	8/18/2014 5:23 PM
50	not been since flood	8/18/2014 4:09 PM
51	Junk houses and tacky businesses along US 85	8/18/2014 12:53 PM
52	The lack of funds to support the parks	8/18/2014 11:57 AM
53	That it feels like the City has forgotten that Historical, East Evans exists	8/18/2014 10:23 AM
54	the deterioration	8/18/2014 8:11 AM
55	old business area needs renovation	8/18/2014 7:32 AM
56	Looks run down, most likely due to the flood. And of course Riverside park is closed. Pretty much the only area I used. Needs a mountain bike park and trails.	8/13/2014 12:13 PM
57	Not Maintained - appears neglected and run down. A lot of gang activity/people around now	8/13/2014 11:33 AM
58	Lack of maintenance on the cities part, lack of lighting	8/12/2014 7:07 PM
59	lack of parking	8/12/2014 5:40 PM
60	Code enforcement needs to be stricter.	8/11/2014 2:20 PM
61	Trailers at Eastwood Village.	8/11/2014 2:00 PM
62	It needs curbs and gutters.	8/11/2014 1:50 PM
63	Section 8 Housing, 4 plexes	8/11/2014 12:37 PM
64	People view the community in error	8/11/2014 12:09 PM
65	Pond and walking trail closed.	8/11/2014 11:38 AM
66	Park	8/11/2014 10:55 AM
67	high-occupancy housing - too many apartments and unregistered apartments; impression is the city is "letting it go"	8/11/2014 10:21 AM
68	lack of sidewalks	8/10/2014 8:02 AM
69	no sidewalks	8/9/2014 9:36 AM
70	No sidewalks, bike trails, bike paths, flooding everytime it rains, and multi family areas make the place feel run down.	8/7/2014 6:26 PM
71	Poor water drainage during rain storms of and size, no side walks, 37th and 49th streets seem to have reasonable drianage and side walks. Certain areas have a run-down look and appear to be unsafe yet in reality the area is reasonably safe to walk in and ride bike in.	8/7/2014 4:57 PM
72	clean up	8/7/2014 11:56 AM
73	code enforcement not always enforced (weeds, trash, etc.)	8/7/2014 11:03 AM
74	The run down feel associated with rental properties.	8/7/2014 10:34 AM
75	the roads,no sidewalks,not many stormdrains,and not many streetlamps	8/5/2014 9:26 PM
76	Many of the historic buildings have already been removed.	8/5/2014 9:01 AM
77	older/lower socio economic areas need cleaned up, feels unsafe	8/4/2014 4:21 PM
78	Not enough street lights.	8/4/2014 2:44 PM
79	???? When is the library going to open? There needs to be more...more...more publication in Tribune about whats going on In Evans.	8/3/2014 3:13 PM
80	lack of upkeep and police presence to control graffitti and loitering	8/3/2014 1:32 PM
81	The playground. It is not safe (a step broken and not fixed and the ground covering being torn so my little one would always fall), it has graffitti and the swings are "sketchy".	8/3/2014 7:42 AM
82	Unkempt residences.	7/31/2014 3:49 PM
83	The neighborhood and city park don't feel that safe to me. I felt safe at Riverside Park, however	7/31/2014 2:30 PM
84	Riverside park closed	7/31/2014 1:04 PM
85	no lighting, sidewalks, or curbs	7/30/2014 11:32 PM
86	There is a bad element that occasionally moves in.	7/30/2014 6:00 PM
87	not always kept neat (run down).	7/30/2014 4:48 PM
88	it looks trashy, not well cared for, not inviting, nothing historical about it	7/30/2014 12:42 PM
89	Most of it.	7/29/2014 8:26 PM
90	It seems run down, unkempt	7/29/2014 6:20 PM
91	Homes that lack upkeep. Lack of the Cities attention.	7/29/2014 5:41 PM
92	nothing	7/29/2014 2:26 PM
93	Riverside Park	7/28/2014 6:52 PM
94	Riverside park is closed	7/28/2014 5:48 PM
95	that we can not use it ....come on get it cleaned up and open, the sand pit (Riverside Park) is a beautiful little bit of nature right here in our town.....we need it...	7/28/2014 4:38 PM

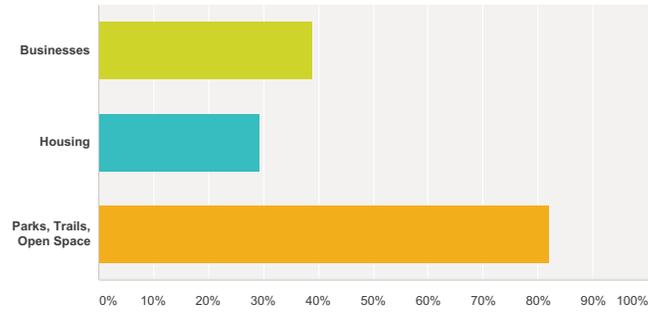
## Riverside Park Survey

96	Not all areas always felt the safest and I think that some work could be done to improve the quality of the whole area.	7/28/2014 3:08 PM
97	Poor roads in spots.	7/28/2014 9:48 AM
98	Safety	7/28/2014 9:23 AM
99	dirt roads, no sidewalks or bike paths to safely walk on.	7/28/2014 8:55 AM
100	Lack of upkeep by residents and city.	7/28/2014 8:53 AM
101	No access to lake	7/28/2014 8:35 AM
102	Dirty	7/28/2014 8:20 AM

# Riverside Park Survey

## Q33 As new development occurs in the Historic Evans area over time, what would you like to see?

Answered: 240 Skipped: 75

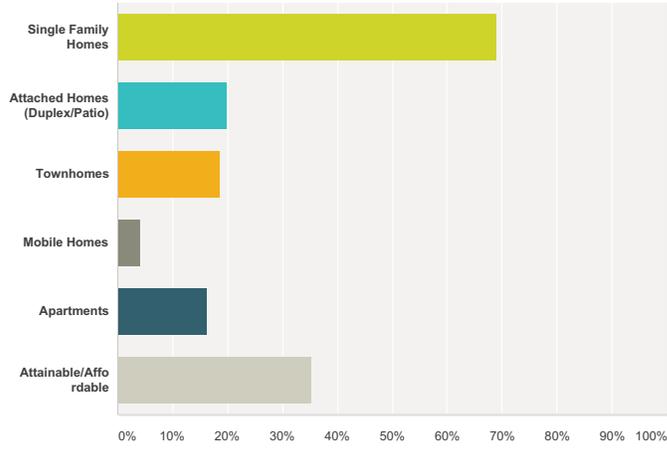


Answer Choices	Responses
Businesses	38.75% 93
Housing	29.17% 70
Parks, Trails, Open Space	82.08% 197
<b>Total Respondents: 240</b>	

# Riverside Park Survey

## Q34 What types of housing are needed in the Historic Evans Area?

Answered: 216 Skipped: 99

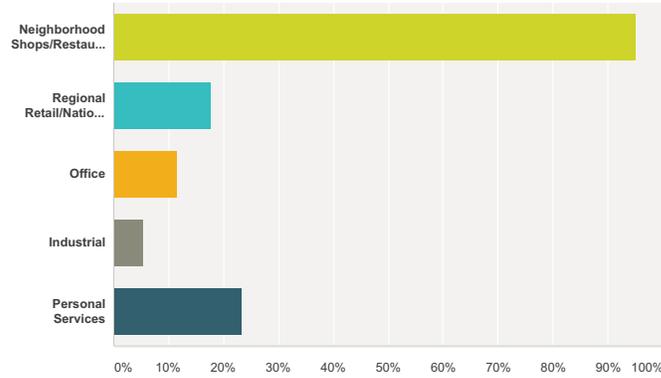


Answer Choices	Responses
Single Family Homes	68.98% 149
Attached Homes (Duplex/Patio)	19.91% 43
Townhomes	18.52% 40
Mobile Homes	4.17% 9
Apartments	16.20% 35
Attainable/Affordable	35.19% 76
<b>Total Respondents: 216</b>	

# Riverside Park Survey

## Q35 What types of commercial uses are needed in the Historic Evans Area?

Answered: 219 Skipped: 96



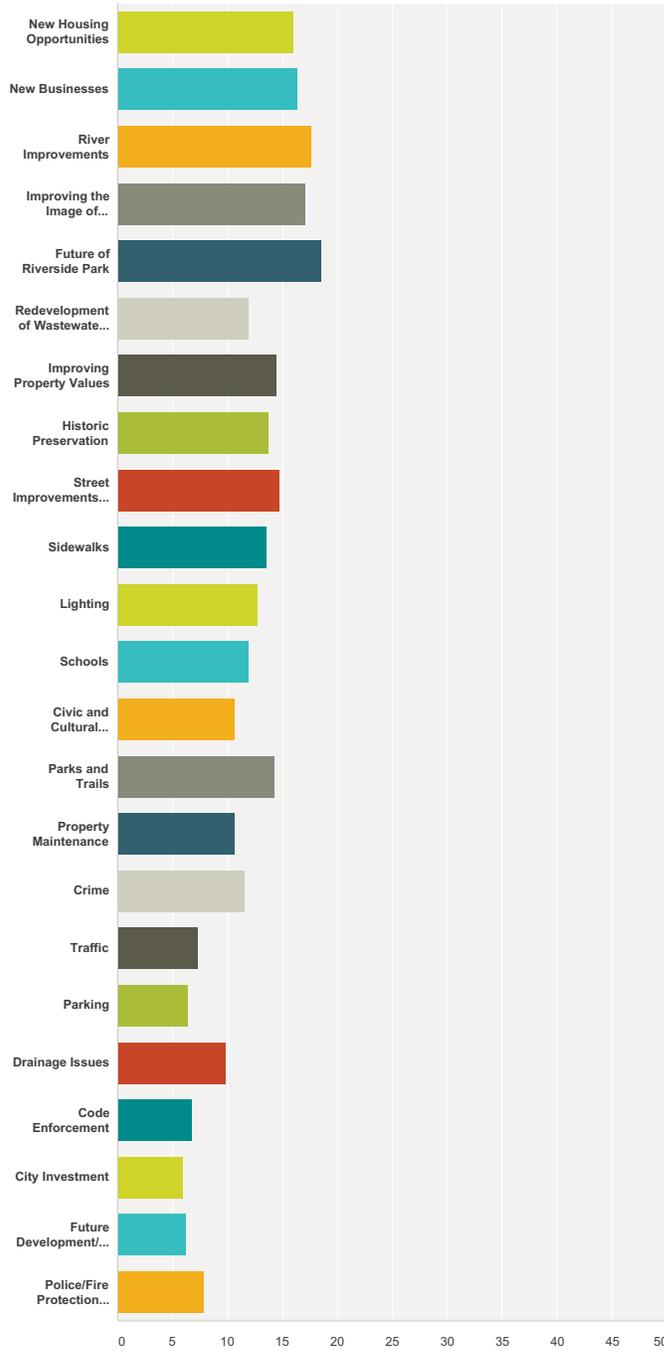
Answer Choices	Responses
Neighborhood Shops/Restaurants	94.98% 208
Regional Retail/National Chain Stores	17.81% 39
Office	11.42% 25
Industrial	5.48% 12
Personal Services	23.29% 51
<b>Total Respondents: 219</b>	

#	Other (please specify)	Date
1	Retail outlets	8/21/2014 4:54 PM
2	?	8/21/2014 9:33 AM
3	any business would help	8/18/2014 5:36 PM
4	Small business. Needs to be a hometown, 'Mayberry' type feel.	8/13/2014 12:18 PM
5	None	8/5/2014 12:56 AM
6	grocery store	8/3/2014 1:39 PM
7	None.	7/30/2014 6:04 PM
8	None	7/29/2014 2:57 PM
9	none	7/28/2014 6:58 PM

# Riverside Park Survey

**Q36 Please rank in order of importance (1 being the highest priority) the following issues that should be addressed in the planning for the Historic Evans Area:**

Answered: 199 Skipped: 116



	1	2	3	4	5	6	7	8	9	10	11	12	13
New Housing Opportunities	15.58%	9.05%	9.05%	6.53%	7.04%	4.02%	4.52%	5.03%	3.02%	3.52%	6.53%	4.02%	2.01%
	31	18	18	13	14	8	9	10	6	7	13	8	2

## Riverside Park Survey

New Businesses	7.54% 15	13.57% 27	9.55% 19	7.04% 14	6.53% 13	8.04% 16	8.54% 17	5.53% 11	6.53% 13	4.52% 9	3.52% 7	1.51% 3	1.5
River Improvements	13.57% 27	8.04% 16	15.58% 31	12.56% 25	7.04% 14	6.53% 13	4.52% 9	5.53% 11	4.52% 9	5.03% 10	3.52% 7	1.51% 3	2.0
Improving the Image of Historic Evans	9.05% 18	5.53% 11	6.53% 13	12.56% 25	14.07% 28	7.54% 15	9.05% 18	8.04% 16	4.52% 9	4.52% 9	4.52% 9	4.52% 9	1.5
Future of Riverside Park	20.10% 40	15.58% 31	8.04% 16	5.53% 11	11.06% 22	10.55% 21	5.53% 11	5.03% 10	3.52% 7	3.52% 7	2.01% 4	2.01% 4	0.0
Redevelopment of Wastewater Treatment Plant	5.53% 11	5.53% 11	4.02% 8	7.04% 14	2.01% 4	12.06% 24	6.53% 13	5.03% 10	5.53% 11	1.51% 3	1.01% 2	3.02% 6	3.0
Improving Property Values	3.02% 6	2.51% 5	3.52% 7	3.02% 6	5.53% 11	8.04% 16	15.08% 30	10.55% 21	7.54% 15	6.53% 13	5.53% 11	4.02% 8	4.0
Historic Preservation	0.50% 1	2.01% 4	2.01% 4	5.53% 11	3.02% 6	4.52% 9	7.04% 14	15.08% 30	11.06% 22	10.05% 20	6.03% 12	5.03% 10	6.0
Street Improvements/Paving	2.01% 4	4.52% 9	6.03% 12	5.53% 11	1.51% 3	4.52% 9	3.52% 7	8.04% 16	17.59% 35	11.06% 22	10.55% 21	4.02% 8	5.5
Sidewalks	0.50% 1	3.52% 7	4.02% 8	3.52% 7	5.03% 10	2.01% 4	3.52% 7	5.03% 10	9.05% 18	14.57% 29	10.05% 20	13.07% 26	5.5
Lighting	1.01% 2	2.01% 4	1.01% 2	3.52% 7	3.52% 7	4.52% 9	2.01% 4	3.52% 7	4.52% 9	8.54% 17	16.58% 33	12.06% 24	12.0
Schools	5.03% 10	3.02% 6	5.53% 11	2.51% 5	4.02% 8	1.51% 3	1.01% 2	0.50% 1	3.02% 6	2.51% 5	7.54% 15	13.57% 27	11.0
Civic and Cultural Facilities	0.00% 0	0.50% 1	2.01% 4	1.51% 3	2.51% 5	1.51% 3	1.51% 3	2.51% 5	1.51% 3	3.02% 6	3.52% 7	11.56% 23	18.5
Parks and Trails	4.52% 9	9.05% 18	7.04% 14	5.53% 11	7.04% 14	3.02% 6	6.03% 12	2.51% 5	1.51% 3	3.52% 7	3.02% 6	3.52% 7	6.0
Property Maintenance	1.01% 2	1.51% 3	1.51% 3	2.51% 5	0.50% 1	3.52% 7	4.02% 8	3.52% 7	2.51% 5	2.51% 5	0.50% 1	4.02% 8	5.5
Crime	2.51% 5	4.52% 9	5.03% 10	3.52% 7	6.53% 13	5.03% 10	3.02% 6	1.01% 2	1.01% 2	1.51% 3	3.52% 7	0.50% 1	1.0
Traffic	0.50% 1	0.00% 0	0.00% 0	2.01% 4	2.01% 4	0.50% 1	1.01% 2	0.00% 0	1.51% 3	0.50% 1	0.00% 0	2.01% 4	1.0
Parking	0.00% 0	0.00% 0	0.50% 1	0.00% 0	1.01% 2	1.51% 3	0.50% 1	1.51% 3	0.50% 1	1.01% 2	0.50% 1	1.01% 2	2.0
Drainage Issues	3.52% 7	3.52% 7	3.52% 7	3.02% 6	2.51% 5	1.51% 3	3.52% 7	4.52% 9	1.01% 2	3.52% 7	4.02% 8	2.01% 4	2.5
Code Enforcement	0.51% 1	2.02% 4	0.51% 1	1.01% 2	2.02% 4	2.02% 4	3.03% 6	2.02% 4	1.52% 3	1.52% 3	1.52% 3	0.51% 1	3.5
City Investment	0.50% 1	1.01% 2	0.00% 0	1.01% 2	1.51% 3	1.51% 3	0.50% 1	2.01% 4	1.51% 3	1.51% 3	1.51% 3	4.02% 8	1.0
Future Development/Redevelopment	1.52% 3	0.51% 1	1.52% 3	1.01% 2	2.53% 5	2.53% 5	4.04% 8	1.01% 2	2.53% 5	2.02% 4	1.52% 3	1.52% 3	1.5
Police/Fire Protection (City Services)	2.01% 4	2.51% 5	3.52% 7	4.02% 8	1.51% 3	3.52% 7	2.01% 4	2.51% 5	4.52% 9	3.52% 7	3.02% 6	1.01% 2	3.0

## Riverside Park Survey

### Q37 What should be the future use of areas affected by the flood of 2013?

Answered: 92 Skipped: 223

#	Responses	Date
1	If privately owned, whatever the highest and best use as determined by the owner.	8/27/2014 4:22 PM
2	Turn them into parks but protect from future flood damage	8/26/2014 8:17 PM
3	all for the community. Keep children out of trouble and involved in activities!	8/26/2014 3:44 PM
4	sports fields, drainage ponds.	8/25/2014 3:10 PM
5	unknown	8/22/2014 9:15 AM
6	Assistance	8/22/2014 8:48 AM
7	Trails and bike paths.	8/21/2014 5:01 PM
8	Reopen trailor park.	8/21/2014 4:54 PM
9	Cleaned and replenished.	8/21/2014 4:46 PM
10	Parks	8/21/2014 4:37 PM
11	Housing; parks and trails	8/21/2014 4:27 PM
12	Learning Center	8/21/2014 3:31 PM
13	Parks and open spaces	8/21/2014 2:36 PM
14	Preservation of some sort	8/21/2014 2:17 PM
15	Open spaces	8/21/2014 2:05 PM
16	Multi-use	8/21/2014 1:39 PM
17	Re-build.	8/21/2014 1:32 PM
18	Clean up, reinvest, repopulate	8/21/2014 11:58 AM
19	Housing	8/21/2014 11:11 AM
20	Trailers, apartments, park	8/21/2014 11:04 AM
21	Park	8/21/2014 9:47 AM
22	Parks	8/21/2014 9:33 AM
23	Housing	8/21/2014 9:17 AM
24	new businesses	8/21/2014 9:11 AM
25	Prepare	8/21/2014 8:47 AM
26	Restoration	8/20/2014 4:28 PM
27	recreation	8/19/2014 8:37 PM
28	Buy out Eastwood Village and surrounding flooded properties and use for flood control, open space and the expansion of Riverside Park	8/19/2014 3:59 PM
29	Picnic area's. camping . Biking walking trails lakes fishing	8/19/2014 10:48 AM
30	Clean businesses and family oriented areas.	8/19/2014 8:24 AM
31	I'd like to see some sort of "downtown" area developed. The City of Evans is the only community in Weld County without that type of area.	8/18/2014 8:45 PM
32	River Side Park- walking trails and outdoor concerts skate board park for kids, lots of folks fish there and walk bike trails	8/18/2014 6:23 PM
33	rebuild understanding you are in a flood zone and housing is not the best bet	8/18/2014 5:36 PM
34	clearly not homes or trailer parks	8/18/2014 4:13 PM
35	Protection or prevention by no building from future floods	8/18/2014 12:57 PM
36	I feel the park needs terracing to give the river steps to sort of climb and the sustainable foliage will withstand the flood waters	8/18/2014 10:42 AM
37	Open Space	8/18/2014 10:23 AM
38	mobile homes and condos	8/18/2014 7:37 AM
39	Recreation/Family. Oh and maybe a byway built over 85 for pedestrian and cycle access to that portion of Evans. Would increase usage of facilities and allow for greater participation in events.	8/13/2014 12:18 PM
40	nature oriented trails, etc	8/13/2014 11:39 AM
41	Nature areas	8/12/2014 7:12 PM
42	open space	8/12/2014 5:48 PM
43	Parks and recreation	8/11/2014 2:21 PM
44	Single family housing and open space.	8/11/2014 2:16 PM
45	Park Oppe Space	8/11/2014 12:37 PM

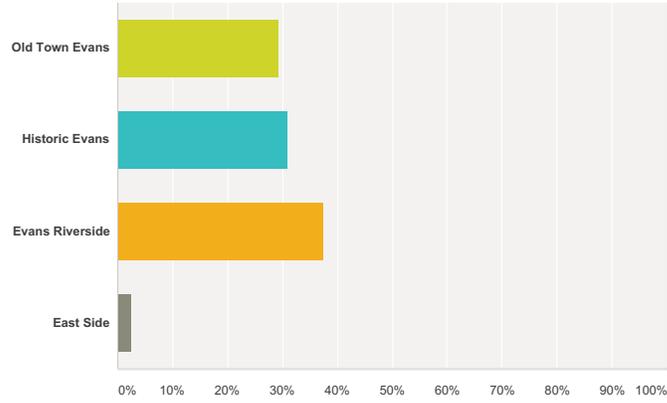
## Riverside Park Survey

46	Recreation	8/11/2014 12:29 PM
47	Utilize the areas to improve the community	8/11/2014 12:17 PM
48	Parks, new housing	8/11/2014 11:58 AM
49	Housing and parks/recreation	8/11/2014 11:17 AM
50	Public Space	8/11/2014 11:06 AM
51	Memorial	8/11/2014 10:55 AM
52	park; RV campsites/temporary camping	8/11/2014 10:36 AM
53	For kids to explore, have fun, and learn.	8/9/2014 12:24 PM
54	recreation, residential	8/8/2014 12:36 PM
55	Open space, trail systems, nature areas, parks.	8/7/2014 6:33 PM
56	Open space, trails and waling trails, family activity areas and meeting places.	8/7/2014 5:01 PM
57	memorial	8/7/2014 12:02 PM
58	Parks & Recreation	8/7/2014 11:32 AM
59	Open Space/Flood way/Trails	8/7/2014 10:40 AM
60	open space/trails	8/4/2014 9:00 PM
61	Open Space	8/4/2014 3:16 PM
62	Making sure the river area is rebuilt up. Rebuild the park.	8/4/2014 2:53 PM
63	Riverside park	8/4/2014 2:15 PM
64	Fixed and easy on the eyes	8/4/2014 8:05 AM
65	Enlarge the Park to accommodate more activities to draw people into that part of town which in turn would fund new businesses.	8/3/2014 3:28 PM
66	create an open space, recreational area where possible	8/3/2014 1:39 PM
67	Make biking trails and a golf course. When I was a resident there, we voted for a tax increase for a golf course. I believe that was in 2000. I haven't seen plans for a golf course.	8/3/2014 7:46 AM
68	parks	7/31/2014 11:35 PM
69	Riverside park must be reopened as soon as possible Housing	7/31/2014 8:33 PM
70	keep permanent buildings out of the 100 year flood plain	7/31/2014 3:53 PM
71	Redevelopment	7/31/2014 2:35 PM
72	open space or recreation fields	7/31/2014 10:40 AM
73	trailer parks turned into single family housing and rebuilding riverside park	7/30/2014 11:37 PM
74	Nature trails.	7/30/2014 6:04 PM
75	Above all health ans safety of the community comes first (clean-up). Water issues and Riverside area should the top of the list.	7/30/2014 4:56 PM
76	park/ballfields	7/30/2014 12:44 PM
77	a simple walking area memorial park, a place that if ever again was to be flooded it wouldnt loose much	7/30/2014 10:12 AM
78	Natural area/gravel mining	7/29/2014 8:29 PM
79	Sports and nature	7/29/2014 6:52 PM
80	Open spaces	7/29/2014 5:47 PM
81	Number 4 is not correct--Could not change ranking	7/29/2014 2:57 PM
82	Retention Ponds with open space	7/29/2014 2:27 PM
83	Not mobile homes	7/28/2014 9:19 PM
84	open space with natural areas	7/28/2014 8:41 PM
85	Rebuild the trailer parks and reopen Riverside.	7/28/2014 6:58 PM
86	Parks	7/28/2014 5:52 PM
87	open area...outdoor recreations, fishing ,hiking, bird watching, etc..	7/28/2014 4:48 PM
88	Parks and recreation.	7/28/2014 3:15 PM
89	Not sure, hesitant because it may be flooded again.	7/28/2014 9:25 AM
90	Open space and multifamily housing. No trailer courts!	7/28/2014 9:14 AM
91	Residential, community gathering area of town for all of Evans	7/28/2014 9:01 AM
92	Improvements of lake and park, rebuilding roads with better drainage, housing where mobile homes used to be. Keeping the historic feel without adding a lot of unnecessary facilities.	7/28/2014 8:41 AM

# Riverside Park Survey

## Q38 What would be the best way to refer to this neighborhood?

Answered: 198 Skipped: 117



Answer Choices	Responses	
Old Town Evans	29.29%	58
Historic Evans	30.81%	61
Evans Riverside	37.37%	74
East Side	2.53%	5
<b>Total</b>		<b>198</b>

#	Other (please specify)	Date
1	Evans Restoration	8/26/2014 8:17 PM
2	evans	8/23/2014 6:40 PM
3	Old town so long as a down town style enviroment is constructed	8/19/2014 8:24 AM
4	Historic Riverside Evans	8/18/2014 6:23 PM
5	Evans	8/18/2014 12:15 PM
6	First Evans	8/18/2014 10:42 AM
7	Evans	8/11/2014 12:17 PM
8	Evans	8/11/2014 11:06 AM
9	I think the new library has removed the historic area and it's contents.	8/3/2014 3:28 PM
10	Evans	7/29/2014 5:47 PM

## Riverside Park Survey

### Q39 My impression of the Historic Evans Area is:

Answered: 114 Skipped: 201

#	Responses	Date
1	run down and gang related activities	8/29/2014 9:14 AM
2	Neglected	8/27/2014 4:23 PM
3	Old but that is history	8/26/2014 8:20 PM
4	Lots of Potential	8/26/2014 3:50 PM
5	Dated/old	8/25/2014 3:12 PM
6	Love the area - very friendly.	8/22/2014 9:20 AM
7	Love some of the restaurants there.	8/22/2014 9:05 AM
8	n/a	8/22/2014 8:48 AM
9	Needs improvement but the houses are charming.	8/21/2014 5:01 PM
10	Poor - Pave the streets.	8/21/2014 4:55 PM
11	It is beloved by residents.	8/21/2014 4:46 PM
12	Crime	8/21/2014 4:38 PM
13	Love the history.	8/21/2014 4:32 PM
14	Quiet; small-town feel.	8/21/2014 4:28 PM
15	always good - comfortable	8/21/2014 4:24 PM
16	Everything that got destroyed due to the flood.	8/21/2014 3:35 PM
17	Lived here for 2 years - safe and quiet.	8/21/2014 2:37 PM
18	peaceful; quiet	8/21/2014 2:18 PM
19	I love it.	8/21/2014 2:10 PM
20	It's quiet	8/21/2014 2:06 PM
21	First build / some crime	8/21/2014 1:52 PM
22	Great	8/21/2014 1:33 PM
23	It is sort of blighted.	8/21/2014 11:59 AM
24	It is a good area to learn of Evans' history.	8/21/2014 11:37 AM
25	Old; in need of upgrades	8/21/2014 10:29 AM
26	Fun area	8/21/2014 9:47 AM
27	I haven't visited this area in 4 years.	8/21/2014 9:33 AM
28	Sad	8/21/2014 9:18 AM
29	Has improvements to be made.	8/20/2014 5:10 PM
30	Like	8/20/2014 4:41 PM
31	Not sure	8/20/2014 4:28 PM
32	old, kind of dilapidated, only low income people live there	8/20/2014 9:49 AM
33	quaint, old, impressionable	8/19/2014 8:38 PM
34	Quaint, historic, not "cookie-cutter" south of 37th St.	8/19/2014 4:02 PM
35	Its the poor side of town	8/19/2014 12:24 PM
36	n/a	8/19/2014 9:43 AM
37	High crime from residents and low business draw	8/19/2014 8:26 AM
38	Somewhere safe and well lit where families can enjoy an evening walk and visit restaurants and shops.	8/18/2014 8:48 PM
39	I love it.	8/18/2014 6:31 PM
40	Junky	8/18/2014 5:37 PM
41	nobody cares about it	8/18/2014 4:13 PM
42	Good...It's a nice, quiet, affordable place	8/18/2014 12:58 PM
43	Ever thing is gone. They tore down the Old School that was all that was left.	8/18/2014 12:52 PM
44	Rundown and forgotten about by the City	8/18/2014 10:47 AM
45	Tremendous potential	8/18/2014 10:24 AM
46	it is fine	8/18/2014 8:56 AM
47	Ran down city don't invest	8/18/2014 8:26 AM
48	despair	8/18/2014 8:20 AM

## Riverside Park Survey

49	a good place to retire	8/18/2014 7:42 AM
50	Its a nice place to live	8/14/2014 9:08 AM
51	Lots of potential, but a little run down. Needs to be opened up for public use more and private use less.	8/13/2014 12:21 PM
52	Currently, infested with crime & gangs Would like to see cleaned up and preserved	8/13/2014 11:41 AM
53	Diverse housing and ideas, quite close community	8/12/2014 7:15 PM
54	needs improvement	8/12/2014 5:51 PM
55	Good and bad areas	8/11/2014 2:21 PM
56	Preserving Evans Routs	8/11/2014 2:17 PM
57	I used to like the old museum and old City Hall.	8/11/2014 1:54 PM
58	SFH, small businesses	8/11/2014 12:38 PM
59	Neglect	8/11/2014 12:30 PM
60	It's awesome	8/11/2014 12:18 PM
61	Quiet, but needs a little image improvement.	8/11/2014 11:59 AM
62	a nice neighborhood with a varied community and varied cultures	8/11/2014 11:18 AM
63	A little run down, loaded with potential	8/11/2014 11:06 AM
64	It has the potential to be a nice family-oriented neighborhood with a small-town feel with small local businesses catering to food and shopping.	8/11/2014 10:39 AM
65	I like the small town feel. I am excited for the library to open, and work to start on Riverside park.	8/10/2014 8:10 AM
66	Run down.	8/9/2014 12:10 PM
67	It has a small town feeling, lacking a main street with businesses.	8/9/2014 9:53 AM
68	Run down, poor, not well maintained	8/8/2014 4:30 PM
69	neglected.	8/8/2014 12:40 PM
70	Small town feel and community	8/7/2014 6:35 PM
71	Small Town Feel - Home town feel	8/7/2014 5:05 PM
72	amazing	8/7/2014 12:02 PM
73	nice and bad areas	8/7/2014 11:42 AM
74	Low income demographic	8/7/2014 10:42 AM
75	its ok	8/5/2014 9:30 PM
76	descent	8/5/2014 6:44 PM
77	good ,they are working on it	8/5/2014 3:39 PM
78	The piece of Evans the City Government has forgot	8/5/2014 8:52 AM
79	Bland and uninviting.	8/4/2014 11:43 PM
80	In need of repair	8/4/2014 4:14 PM
81	Don't know about it	8/4/2014 3:17 PM
82	Improving, adding library is big	8/4/2014 8:07 AM
83	It is lacking and lost due to the building of the new library.	8/3/2014 3:30 PM
84	favorable	8/3/2014 1:39 PM
85	It is beautiful. I grew up across the historic park and it was so fun. I loved the volleyball net and for the most part people were nice and respectful.	8/3/2014 7:48 AM
86	Dilapidated.	8/2/2014 10:14 PM
87	quiet good neighborhoods	7/31/2014 8:34 PM
88	Home.	7/31/2014 6:57 PM
89	quirky	7/31/2014 3:53 PM
90	It is a run down area of town.	7/31/2014 2:36 PM
91	affordable and quiet	7/31/2014 10:41 AM
92	Down at the heels, lots of potential but people who live there don't want improvements.	7/31/2014 9:46 AM
93	Rundown, homeowners keep care of their property but the city has not made any improvements	7/30/2014 11:39 PM
94	I love it.	7/30/2014 6:05 PM
95	untapped potential	7/30/2014 4:58 PM
96	it seems old and not modern	7/30/2014 10:13 AM
97	Rundown	7/29/2014 8:30 PM
98	I love the community, it is home	7/29/2014 5:52 PM
99	Not favorable	7/29/2014 2:58 PM
100	Historic	7/29/2014 2:28 PM
101	It is old and blighted.	7/28/2014 9:20 PM

## Riverside Park Survey

102	It has been an ignored area until the flood happened	7/28/2014 8:45 PM
103	A little more work could be spent on some of the old properties	7/28/2014 8:09 PM
104	High crime and low-income	7/28/2014 6:59 PM
105	Nice	7/28/2014 5:54 PM
106	Love it...	7/28/2014 4:54 PM
107	Has always been that it was sort of old and forgotten.	7/28/2014 3:17 PM
108	It is the poorer part of town.	7/28/2014 9:51 AM
109	Fine	7/28/2014 9:40 AM
110	Ghetto	7/28/2014 9:36 AM
111	Run down, poverty	7/28/2014 9:26 AM
112	Neat area that has been neglected.	7/28/2014 9:22 AM
113	Eclectic, small town atmosphere, diverse population	7/28/2014 9:02 AM
114	Older, quaint, quiet a few run down areas that could use improvement	7/28/2014 8:44 AM

## Riverside Park Survey

### Q40 The thing I like best about the Historic Evans Area is:

Answered: 104 Skipped: 211

#	Responses	Date
1	Old houses that have been well maintained.	8/27/2014 4:23 PM
2	Glimpse of the past	8/26/2014 8:20 PM
3	all the area to create great facilities to meet everyones needs	8/26/2014 3:50 PM
4	I like the area as I grew up there.	8/25/2014 3:12 PM
5	Parks.	8/22/2014 9:20 AM
6	How it feels like home.	8/22/2014 9:05 AM
7	n/a	8/22/2014 8:48 AM
8	Old growth trees.	8/21/2014 4:55 PM
9	The history.	8/21/2014 4:46 PM
10	Parks and trails when it was open.	8/21/2014 4:28 PM
11	atmosphere, quiet	8/21/2014 4:24 PM
12	Very friendly.	8/21/2014 2:47 PM
13	Quiet family neighborhood.	8/21/2014 2:37 PM
14	Riverside Park	8/21/2014 2:18 PM
15	History - River Trail Park.	8/21/2014 2:10 PM
16	The open spaces	8/21/2014 2:06 PM
17	Historic area	8/21/2014 1:52 PM
18	Museum	8/21/2014 1:33 PM
19	Quiet, mature	8/21/2014 11:59 AM
20	It has a lot of history.	8/21/2014 11:37 AM
21	Keeping some of the old buildings.	8/21/2014 11:12 AM
22	The history	8/21/2014 11:04 AM
23	The Park	8/21/2014 10:29 AM
24	Evans Day	8/21/2014 10:05 AM
25	Parks and trails	8/21/2014 9:28 AM
26	Never quit	8/21/2014 9:18 AM
27	Parks and quietness	8/21/2014 9:05 AM
28	The history.	8/20/2014 5:10 PM
29	Parks	8/20/2014 4:41 PM
30	Parks	8/20/2014 4:28 PM
31	history, some cute old houses	8/20/2014 9:49 AM
32	the trees	8/19/2014 8:38 PM
33	Riverside Park, big trees	8/19/2014 4:02 PM
34	n/a	8/19/2014 9:43 AM
35	new library	8/19/2014 8:26 AM
36	The beginning of modern improvements, eg...the new library.	8/18/2014 8:48 PM
37	quiet, peaceful, the people, the river! the path around the river	8/18/2014 6:31 PM
38	some very old buildings survived	8/18/2014 5:37 PM
39	I moved out of it	8/18/2014 4:13 PM
40	Lack of responsibility by some residents	8/18/2014 12:58 PM
41	What... is left.	8/18/2014 12:52 PM
42	I like the neighborhoods quietness and serenity	8/18/2014 10:47 AM
43	River and pond	8/18/2014 10:24 AM
44	All	8/18/2014 8:56 AM
45	Small business are making improvements	8/18/2014 8:26 AM
46	residential area is serene	8/18/2014 7:42 AM
47	Riverside park. Best park in Evans, but very little access unless you live on that side of 85.	8/13/2014 12:21 PM
48	Has potential for growth.	8/13/2014 11:41 AM

## Riverside Park Survey

49	Quiet, the neighbors	8/12/2014 7:15 PM
50	Schwartz's cinnamon rolls, fire station	8/12/2014 5:51 PM
51	Quiet, mostly	8/11/2014 2:21 PM
52	Riverside Park	8/11/2014 2:17 PM
53	It is quiet.	8/11/2014 1:54 PM
54	The community	8/11/2014 12:18 PM
55	No HOAs.	8/11/2014 11:59 AM
56	the parks	8/11/2014 11:18 AM
57	Everything is tucked away	8/11/2014 11:06 AM
58	old houses, mature landscaping, family-friendly, quiet, mostly single-family homes, access to parks and river. The #1 thing: Historic Evans is my home.	8/11/2014 10:39 AM
59	It is home!	8/10/2014 8:10 AM
60	Its a good senry and my brother loves the trains there.	8/9/2014 1:09 PM
61	The park/parks, the soon to be library, and it is home.	8/9/2014 9:53 AM
62	Nice and quiet area	8/8/2014 4:30 PM
63	quiet, country, stars at night.	8/8/2014 12:40 PM
64	Historical feel of the area, period homes.	8/7/2014 6:35 PM
65	Small Town Image - Single Family Homes - Stop building multi family and apartment buildings it takes away from the Small Town feel. Leave that to the west side of highway.	8/7/2014 5:05 PM
66	the Park	8/7/2014 12:02 PM
67	quiet (most of the time)	8/7/2014 11:42 AM
68	The community/access to river recreation	8/7/2014 10:42 AM
69	its the original part	8/5/2014 9:30 PM
70	river park	8/5/2014 6:44 PM
71	they do not quit when they get lemons, they just make lemonaid	8/5/2014 3:39 PM
72	The potential of a park area.	8/4/2014 4:14 PM
73	Was riverside park	8/4/2014 8:07 AM
74	quaint houses, large trees, Horse shoe pits in park. Park has bathrooms.	8/3/2014 3:30 PM
75	history	8/3/2014 1:39 PM
76	See above	8/3/2014 7:48 AM
77	Riverside Park	8/2/2014 10:14 PM
78	Riverside park & its many uses	7/31/2014 8:34 PM
79	Home.	7/31/2014 6:57 PM
80	diversity	7/31/2014 3:53 PM
81	Riverside Park when it was there.	7/31/2014 2:36 PM
82	quiet, old town feel	7/31/2014 10:41 AM
83	Its potential	7/30/2014 11:39 PM
84	No covenants and the freedom to be as it is.	7/30/2014 6:05 PM
85	Community events	7/30/2014 4:58 PM
86	the new culture center	7/30/2014 10:13 AM
87	Nothing	7/29/2014 8:30 PM
88	Community	7/29/2014 5:52 PM
89	The History	7/29/2014 2:58 PM
90	The Police and Fire Department	7/29/2014 2:28 PM
91	Riverside park.	7/28/2014 9:20 PM
92	Its a fairly quiet neighborhood and people try to help eachother if they can	7/28/2014 8:45 PM
93	all the riverside access prior to flood	7/28/2014 8:09 PM
94	Riverside Park	7/28/2014 6:59 PM
95	How peaceful it is	7/28/2014 5:54 PM
96	I all ready told you your repeating question, I was born and raised here it is home were I have raised my children...	7/28/2014 4:54 PM
97	The quiet backdrop of the area.	7/28/2014 3:17 PM
98	The parks.	7/28/2014 9:51 AM
99	Trees	7/28/2014 9:40 AM
100	City park	7/28/2014 9:36 AM

## Riverside Park Survey

101	River trail	7/28/2014 9:26 AM
102	Small town atmosphere	7/28/2014 9:22 AM
103	Small town atmosphere	7/28/2014 9:02 AM
104	The feel I have several family members live there and it is quite for the most part, friendly neighbors.	7/28/2014 8:44 AM

## Riverside Park Survey

### Q41 The thing I would most like to change about the Historic Evans Area is:

Answered: 99 Skipped: 216

#	Responses	Date
1	Renew Riverside park.	8/27/2014 4:23 PM
2	Unsure	8/26/2014 8:20 PM
3	the MOSQUITOS!!!!!!!	8/26/2014 3:50 PM
4	Make it more appealing to vistors.	8/25/2014 3:12 PM
5	Reopen riverside park	8/23/2014 6:41 PM
6	More housing.	8/22/2014 9:20 AM
7	More apartments.	8/22/2014 9:05 AM
8	n/a	8/22/2014 8:48 AM
9	Dirt roads.	8/21/2014 4:55 PM
10	Slightly more modern.	8/21/2014 4:46 PM
11	Crime	8/21/2014 4:38 PM
12	More lights; better roads	8/21/2014 2:37 PM
13	?	8/21/2014 2:18 PM
14	The flood damage	8/21/2014 2:06 PM
15	Crime	8/21/2014 1:52 PM
16	Build it up like the Riverfront in San Antonio.	8/21/2014 1:39 PM
17	More housing.	8/21/2014 1:33 PM
18	Pave all streets; get trash from flood removed.	8/21/2014 11:59 AM
19	Fix the damaged areas.	8/21/2014 11:37 AM
20	river changes	8/21/2014 10:05 AM
21	Better neighborhood	8/21/2014 9:18 AM
22	Cleaning it up.	8/20/2014 5:10 PM
23	more affordable housing	8/20/2014 4:28 PM
24	image	8/20/2014 9:49 AM
25	the lack of investment	8/19/2014 8:38 PM
26	Better access to the area	8/19/2014 4:02 PM
27	n/a	8/19/2014 9:43 AM
28	make it more of a down town area with a town square with restaurants, coffee shops, eclectic shops, and outdoor venues with a river walk.	8/19/2014 8:26 AM
29	I'd like to see additional lighting. The lights being left on over night at City Park recently is a very big help.	8/18/2014 8:48 PM
30	Tear down abandoned houses!	8/18/2014 6:31 PM
31	people taking pride in the property	8/18/2014 5:37 PM
32	the vibe is creepy	8/18/2014 4:13 PM
33	Tougher codes and enforcement, better use of the river opportunities	8/18/2014 12:58 PM
34	I would like to see city give more attention to the area. Maybe if it gets developed in a proper way the city will see the need to not forget the area.	8/18/2014 10:47 AM
35	Gang atmosphere	8/18/2014 10:24 AM
36	nothing	8/18/2014 8:56 AM
37	Be able to turn left on 39th. Street if going south on 85	8/18/2014 8:26 AM
38	re establish a violable and working 39th st as a MAIN street	8/18/2014 8:20 AM
39	Bring it back into the mainstream. no used furniture stores but a small grocery would be nice	8/18/2014 7:42 AM
40	Getting the riverside park open again, we miss biking by the river.	8/14/2014 9:08 AM
41	Less private use, more public use. Greater range of activities for individual participation. What was there before was great for some team stuff, but the average user goes on a whim. There needs to be more trails, a mountain bike park, access to waterfront, etc...	8/13/2014 12:21 PM
42	Crime and neglected areas	8/13/2014 11:41 AM
43	Investment in enhancing property values	8/12/2014 7:15 PM
44	sidewalks	8/12/2014 5:51 PM
45	More strict code enforcement.	8/11/2014 2:21 PM
46	More open space.	8/11/2014 2:17 PM

## Riverside Park Survey

47	Fix the roads and water drainage.	8/11/2014 1:54 PM
48	Upscale businesses	8/11/2014 12:30 PM
49	The perceived image	8/11/2014 12:18 PM
50	More businesses on the east side of the tracks.	8/11/2014 11:59 AM
51	The perceived image	8/11/2014 11:06 AM
52	Less apartments and affordable housing.	8/11/2014 10:39 AM
53	I would like to see sidewalks. Traffic control on 37th St. and reduce truck traffic on 42nd St. and Golden	8/10/2014 8:10 AM
54	There is to much gang problems.	8/9/2014 1:09 PM
55	It needs a face lift and new park.	8/9/2014 12:10 PM
56	A store or two and a restraunt. Truck traffic limited to streets with sidewalks. Speed limits on 37th St. enforced.	8/9/2014 9:53 AM
57	Clean up properties and take pride in the surroundings.	8/8/2014 4:30 PM
58	see response to #1 (above).	8/8/2014 12:40 PM
59	infrastructure improvements	8/7/2014 6:35 PM
60	Draniage - Streets - Lighting - Sidewalks - develop a business district of small shops and busines service shops keep the fanchises out, box stores out, convenance franchise stores out.	8/7/2014 5:05 PM
61	walls over river	8/7/2014 12:02 PM
62	Clean up - preservation. There are a lot of improvements west of Highway 85 and I feel we are forgotten and passed off as the ghetto.	8/7/2014 11:42 AM
63	Community interest in property maintenance	8/7/2014 10:42 AM
64	fix streets add more street lamps add sidewalks add stormdrains	8/5/2014 9:30 PM
65	streets and sidewalk	8/5/2014 6:44 PM
66	Addition of a Community Garden	8/5/2014 8:52 AM
67	The Park	8/4/2014 4:14 PM
68	Define with signage	8/4/2014 3:17 PM
69	The roads need attention and street lights.	8/4/2014 2:54 PM
70	Trashy yards	8/4/2014 8:07 AM
71	Clean up some of the junk people have put in their yards and parking areas. Would be nice to have sidewalks on every street.	8/3/2014 3:30 PM
72	image	8/3/2014 1:39 PM
73	Reserve the museum, put up safe biking trails and fix graffiti.	8/3/2014 7:48 AM
74	reopening of Riverside park Sidewalks	7/31/2014 8:34 PM
75	More recreational offerings, especially swimming. Improve reputation of the area, I really do not like my children's friends referring to my neighborhood as the ghetto. Infrastructure to support Small neighborhood businesses and restaurants.	7/31/2014 6:57 PM
76	make it more attractive	7/31/2014 3:53 PM
77	The fear of crime in the rundown area	7/31/2014 2:36 PM
78	HWY 85 and noise from the trains	7/31/2014 10:41 AM
79	Make it a destination for personal services, businesses and restaurants so it becomes an economic center for the city.	7/31/2014 9:46 AM
80	add lighting, fix the streets, rebuild riverside park, add retail space (take down the ugly furniture stores, add modern shopping areas)	7/30/2014 11:39 PM
81	Encourage home owners rather than rentals.	7/30/2014 6:05 PM
82	Not a lot is said about the area. Evans Fest really helped pull Evans together and bring money to the community.	7/30/2014 4:58 PM
83	image- homes are not well cared for, doesn't make me want to come through	7/30/2014 12:45 PM
84	it needs more businesses	7/30/2014 10:13 AM
85	Culture	7/29/2014 8:30 PM
86	Maintenance of both city and privately owned properties	7/29/2014 5:52 PM
87	Housing	7/29/2014 2:28 PM
88	Image and much less mobile home parks.	7/28/2014 9:20 PM
89	Lower crime	7/28/2014 6:59 PM
90	Reopen riverside	7/28/2014 5:54 PM
91	that it is for everyone not just base ball fields...Add more trees, and family areas, nature areas, even some history areas , could even do outdoor camping/campgrounds that would bring in money for Evans...	7/28/2014 4:54 PM
92	Some of the more negative vibes that have always surrounded the area. I think that doing things like creating additional park and rec. spaces, the building of the library and then maintaining both the properties as well as a presence will help this to change.	7/28/2014 3:17 PM
93	I would encourage business and housing growth.	7/28/2014 9:51 AM
94	Cleaner friendlier	7/28/2014 9:40 AM

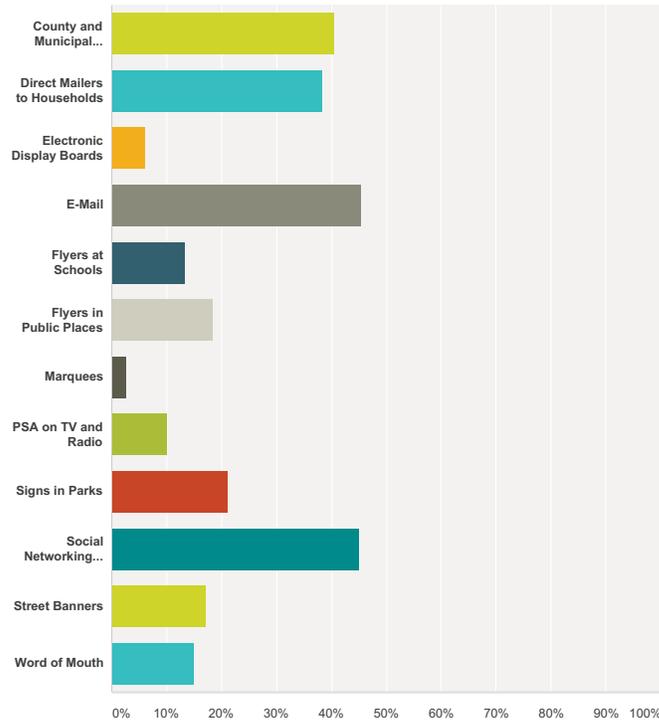
## Riverside Park Survey

95	The parking and the property owners by City Park being mean about parking by their house. They do not own the street!	7/28/2014 9:36 AM
96	Quality	7/28/2014 9:26 AM
97	I would like the residents and the city to breathe new life into this area by cleaning it up and giving people a reason to visit. This can be done by making Riverside Park a regional attraction and utilizing the river as much as possible. As a resident of the area, I would love to have business that I can go to without having to drive into Greeley. I would love to have a major grocery store and bigger retailers along Hwy 85 with smaller eclectic shops and restaurants in the downtown/city park area.	7/28/2014 9:22 AM
98	non paved roads, no safe walking paths or sidewalks	7/28/2014 9:02 AM
99	Run down apartment area where tenants don't care. Adding sidewalks so you can safely walk without being in traffic.	7/28/2014 8:44 AM

# Riverside Park Survey

**Q42 Please check the appropriate box for the best methods to keep you informed. (Check 3)**

Answered: 180 Skipped: 135



Answer Choices	Responses
County and Municipal Websites	40.56% 73
Direct Mailers to Households	38.33% 69
Electronic Display Boards	6.11% 11
E-Mail	45.56% 82
Flyers at Schools	13.33% 24
Flyers in Public Places	18.33% 33
Marquees	2.78% 5
PSA on TV and Radio	10.00% 18
Signs in Parks	21.11% 38
Social Networking (Facebook, Twitter, etc.)	45.00% 81
Street Banners	17.22% 31
Word of Mouth	15.00% 27
<b>Total Respondents: 180</b>	

#	Other (please specify)	Date
1	And the marquees	8/26/2014 8:24 PM
2	water bill	8/23/2014 6:42 PM
3	Phone	8/21/2014 4:58 PM
4	Phone	8/21/2014 3:38 PM
5	Phone	8/21/2014 8:48 AM
6	updates on resident bills	8/19/2014 8:27 AM

## Riverside Park Survey

7	signs along streets and a message board in city park	8/18/2014 10:52 AM
8	City Newsletter, digital.	8/13/2014 12:23 PM
9	Phone	8/11/2014 1:55 PM
10	parents	8/9/2014 3:04 PM
11	My mom	8/9/2014 1:24 PM
12	My mom	8/9/2014 12:25 PM
13	Water Bill enclosures. Wish you would use Tribune.	8/3/2014 3:34 PM
14	recreation emails	7/29/2014 6:53 PM



## Riverside Park Survey

**Q43 Please confirm how you would like to be contacted with information and/or updates for either the Historic Evans or Riverside Park Master Plans (Optional. All information on this response will be kept confidential. No spam or other solicitations will be sent to your phone or email)**

Answered: 100 Skipped: 215

Answer Choices	Responses	
Email	84.00%	84
Mailing Address	37.00%	37
Phone	34.00%	34

#	Email	Date
1	brisrebel57@yahoo.com	8/26/2014 8:24 PM
2	kayrenimommy@yahoo.com	8/22/2014 9:21 AM
3	morales@highplains.us	8/21/2014 4:48 PM
4	cyn_54@yahoo.com	8/21/2014 4:20 PM
5	nylene003@yahoo.com	8/21/2014 2:37 PM
6	anacanto381@hotmail.com	8/21/2014 2:14 PM
7	johnsonu85@yahoo.com	8/21/2014 2:11 PM
8	andyimoss66@gmail.com	8/21/2014 2:06 PM
9	mjceclere@comcast.net	8/21/2014 12:00 PM
10	agonzalez@gmail.com	8/21/2014 11:37 AM
11	jajjai85@hotmail.com	8/21/2014 11:27 AM
12	webbt13@comcast.net	8/21/2014 10:30 AM
13	9smonical417@yahoo.com	8/21/2014 9:19 AM
14	morenakebonita@gmail.com	8/21/2014 9:02 AM
15	pfirenut36@yahoo.com	8/20/2014 4:42 PM
16	Jbirts@cox.net	8/20/2014 1:53 PM
17	jess_adams24@hotmail.com	8/20/2014 9:50 AM
18	mkbrydge@gmail.com	8/19/2014 8:38 PM
19	dodstra1@msn.com	8/19/2014 1:27 PM
20	johnnieaab@gmail.com	8/19/2014 10:50 AM
21	lowpockets217@yahoo.com	8/18/2014 10:50 PM
22	brodriguez@evanscolorado.gov	8/18/2014 8:49 PM
23	driowepaws@aol.com	8/18/2014 6:32 PM
24	karen@mytaxbusters.com	8/18/2014 5:38 PM
25	grinch80620@q.com	8/18/2014 5:20 PM
26	iedgel20@comcast.net	8/18/2014 2:25 PM
27	scottCO75@yahoo.com	8/18/2014 10:52 AM
28	wei86@comcast.net	8/18/2014 9:36 AM
29	p.zietz@yahoo.com	8/18/2014 9:35 AM
30	vfwpost6624@comcast.net	8/18/2014 8:27 AM
31	mikkingreen@yahoo.com	8/18/2014 8:27 AM
32	1donnreid@comcast.net	8/18/2014 8:21 AM
33	jconley5@msn.com	8/18/2014 7:46 AM
34	russell802@gmail.com	8/13/2014 12:23 PM
35	bore0502@aol.com	8/11/2014 2:17 PM
36	kerkes@q.com	8/11/2014 12:38 PM
37	hollykerkes@yahoo.com	8/11/2014 12:31 PM
38	uncgab@hotmail.com	8/11/2014 11:18 AM
39	hghplnsdrfrtr@hotmail.com	8/11/2014 10:48 AM

## Riverside Park Survey

40	klaone@aol.com	8/10/2014 8:12 AM
41	n/a	8/9/2014 3:04 PM
42	n/a	8/9/2014 1:24 PM
43	bestsistereverSuraya@gmail.com	8/9/2014 1:10 PM
44	N/A	8/9/2014 12:25 PM
45	supermomcarrie@yahoo.com	8/9/2014 12:11 PM
46	annallen1221@gmail.com	8/9/2014 9:56 AM
47	rlang52@q.com	8/8/2014 12:42 PM
48	alegra34@hotmail.com	8/7/2014 11:44 AM
49	kfehr@evanscolorado.gov	8/7/2014 10:43 AM
50	tazchick1484@aol.com	8/6/2014 11:36 AM
51	jjrubio69@gmail.com	8/5/2014 9:32 PM
52	mevans@evanscolorado.gov	8/5/2014 9:05 AM
53	Comers73@yahoo.com	8/5/2014 12:59 AM
54	cstrick10@comcast.net	8/5/2014 12:20 AM
55	mimi@geyl.org	8/4/2014 9:01 PM
56	staceyorourke@gmail.com	8/4/2014 8:32 PM
57	ljk170@hotmail.com	8/4/2014 4:14 PM
58	alegna34@hotmail.com	8/4/2014 8:09 AM
59	suzreiff@gmail.com	8/3/2014 3:34 PM
60	crystal.brothe@unco.edu	8/3/2014 1:43 PM
61	nichols99852@yahoo.com	8/3/2014 7:49 AM
62	klaone@aol.com	7/31/2014 8:36 PM
63	bncypncy@gmail.com	7/31/2014 6:59 PM
64	antmat60@hotmail.com	7/31/2014 2:40 PM
65	Rrs822@yahoo.com	7/30/2014 6:06 PM
66	ddshannon1@gmail.com	7/30/2014 5:02 PM
67	rachel@triplecrownsports.com	7/30/2014 2:25 PM
68	ganorocio@yahoo.com	7/30/2014 10:14 AM
69	mtnbmanbrad2015@aol.com	7/30/2014 6:23 AM
70	raski29@yahoo.com	7/29/2014 9:22 PM
71	firewoman57@netzero.com	7/29/2014 6:53 PM
72	ladymahria@aol.com	7/29/2014 5:52 PM
73	cpatterson@affirmoilfieldservices.com	7/29/2014 2:29 PM
74	jammerkt@yahoo.com	7/28/2014 8:31 PM
75	amorerei@aol.com	7/28/2014 7:01 PM
76	jksallee@msn.com	7/28/2014 4:56 PM
77	d_m_brothe@yahoo.com	7/28/2014 3:21 PM
78	lydataluvjamtone@gmail.com	7/28/2014 2:27 PM
79	aridirks@comcast.net	7/28/2014 10:22 AM
80	Jaime2869@yahoo.com	7/28/2014 9:37 AM
81	traysea11@yahoo.com	7/28/2014 9:27 AM
82	leslieamorris2000@yahoo.com	7/28/2014 9:26 AM
83	donia.pantoja@gmail.com	7/28/2014 8:57 AM
84	Jeandglvr@hotmail.com	7/28/2014 8:45 AM
<b>#</b>	<b>Mailing Address</b>	<b>Date</b>
1	2513 QUAY ST	8/26/2014 8:24 PM
2	2460 E 16th st Greeley Co 80631	8/25/2014 3:13 PM
3	3408 Collins Ave., Evans, CO 80260	8/22/2014 9:07 AM
4	3775 W. 25th St., Apt. B202, Greeley, CO 80634	8/21/2014 5:05 PM
5	3512 Centennial Circle, Evans, CO	8/21/2014 4:58 PM
6	5120 Arrowhead Drive, Greeley, CO 80634	8/20/2014 9:50 AM
7	1612 39th St.	8/19/2014 8:38 PM
8	3822 Empire St. Evans CO 80620	8/18/2014 10:52 AM

## Riverside Park Survey

9	3501 State Street, Evans Co 80620	8/18/2014 8:27 AM
10	3711 salida ct evans co 80620	8/14/2014 9:10 AM
11	2916 Parkview Dr, Evans CO 80620	8/13/2014 12:23 PM
12	3927 Empire St, Evans, CO	8/12/2014 7:16 PM
13	815 40th st 80620	8/11/2014 12:31 PM
14	3922 Golden St	8/11/2014 12:20 PM
15	3922 Golden St	8/11/2014 11:07 AM
16	902 40th St., Evans, CO 80620	8/11/2014 10:48 AM
17	4119 Golden St.	8/10/2014 8:12 AM
18	3004 Rock Point Dr. Evans, CO 80620	8/9/2014 12:11 PM
19	4214 Denver Street	8/8/2014 4:33 PM
20	4204 Boulder St Evans, Co. 80620	8/8/2014 12:42 PM
21	312 35th St. Evans, CO 80620	8/6/2014 11:36 AM
22	2424 9th Ave Apt. 7208 Longmont, CO 80503	8/5/2014 9:05 AM
23	3423 Windmill Ct. Evans 80620	8/3/2014 3:34 PM
24	310 37th street	8/3/2014 1:43 PM
25	4119 Golden St Evans 80620	7/31/2014 8:36 PM
26	2004 McNitt St	7/31/2014 2:40 PM
27	4206 Mariposa In. Evans CO 80620	7/30/2014 10:14 AM
28	3213 Claremont Ave.	7/30/2014 6:23 AM
29	3031 1st ave Greeley Co	7/29/2014 2:29 PM
30	3026 Hawk Drive. Evans, CO	7/28/2014 7:01 PM
31	3026 hawk dr	7/28/2014 5:56 PM
32	3734 McAvoy Ave. Evans Co 80620	7/28/2014 4:56 PM
33	2516 park view dr	7/28/2014 10:22 AM
34	1606 39th Street	7/28/2014 9:42 AM
35	3212 Valmont	7/28/2014 9:27 AM
36	810 42nd St Rd. Evans, Co 80620	7/28/2014 9:26 AM
37	3116 Tide Water Ct., Evans, Co 80620	7/28/2014 8:57 AM
<b>#</b>	<b>Phone</b>	<b>Date</b>
1	720-289-1750	8/26/2014 8:24 PM
2	970-398-0297	8/21/2014 4:58 PM
3	970-978-4036	8/21/2014 3:38 PM
4	970-576-9506	8/21/2014 1:33 PM
5	970-978-1488	8/21/2014 11:21 AM
6	970-534-14xx	8/21/2014 10:06 AM
7	970-515-6293	8/21/2014 8:48 AM
8	5404481826	8/19/2014 8:38 PM
9	9705390913	8/19/2014 10:50 AM
10	970-391-3706	8/18/2014 10:52 AM
11	970 339 3025	8/18/2014 8:27 AM
12	970 346 9805	8/18/2014 7:46 AM
13	3034759263	8/13/2014 12:23 PM
14	970-978-6764	8/11/2014 12:31 PM
15	970-576-0577	8/11/2014 12:20 PM
16	970-388-3613	8/11/2014 11:07 AM
17	970-301-5699	8/9/2014 1:10 PM
18	970-506-0651	8/9/2014 12:11 PM
19	970-33-5412	8/7/2014 11:44 AM
20	9704026264	8/5/2014 9:32 PM
21	217-791-9347	8/5/2014 9:05 AM
22	970-506-1365	8/3/2014 3:34 PM
23	970-396-3674	8/3/2014 1:43 PM
24	970-339-8559	7/31/2014 8:36 PM

## Riverside Park Survey

25	9705060745	7/31/2014 2:40 PM
26	9705187729	7/30/2014 10:14 AM
27	970-518-2288	7/29/2014 2:29 PM
28	970-290-2939	7/28/2014 8:31 PM
29	970-371-7273	7/28/2014 7:01 PM
30	970-330-1776	7/28/2014 5:56 PM
31	none	7/28/2014 4:56 PM
32	9703713043	7/28/2014 10:22 AM
33	9705069195	7/28/2014 9:27 AM
34	970-673-5720	7/28/2014 9:26 AM



## Riverside Park Survey

### Q44 Where is the best place to hold public meetings that would be convenient for you?

Answered: 110 Skipped: 205

#	Responses	Date
1	Prairie View Park, selfish but true. City Hall I guess :)	8/26/2014 8:24 PM
2	City complex.	8/25/2014 3:13 PM
3	Ecc	8/23/2014 6:42 PM
4	anywhere	8/22/2014 9:21 AM
5	The Park	8/22/2014 9:07 AM
6	City of Evans	8/21/2014 5:01 PM
7	Community Center	8/21/2014 4:58 PM
8	Riverside Library	8/21/2014 4:48 PM
9	City building.	8/21/2014 4:40 PM
10	City Hall	8/21/2014 4:38 PM
11	City Center.	8/21/2014 4:32 PM
12	Town Hall	8/21/2014 2:11 PM
13	My home	8/21/2014 2:06 PM
14	Local library	8/21/2014 1:52 PM
15	Evans Rec Center	8/21/2014 1:33 PM
16	Civic Center	8/21/2014 12:00 PM
17	Town Hall	8/21/2014 11:37 AM
18	City buildings/Police Department	8/21/2014 11:21 AM
19	Town Hall	8/21/2014 11:12 AM
20	The Library	8/21/2014 10:30 AM
21	Evans Center (Recreation Senior Center)	8/21/2014 10:12 AM
22	Evans Community Center	8/21/2014 9:34 AM
23	City Hall	8/21/2014 9:06 AM
24	Evans	8/21/2014 9:02 AM
25	Library	8/21/2014 8:55 AM
26	Evans Complex	8/21/2014 8:48 AM
27	City Complex	8/20/2014 4:42 PM
28	Greeley Rec Center	8/20/2014 4:29 PM
29	Evans Rec Center	8/20/2014 4:21 PM
30	Community Center	8/20/2014 11:47 AM
31	local parks	8/19/2014 8:38 PM
32	City Hall	8/19/2014 4:03 PM
33	community complex	8/19/2014 1:27 PM
34	City hall	8/19/2014 10:50 AM
35	City of Evans Complex	8/19/2014 8:27 AM
36	City hall	8/18/2014 10:50 PM
37	Evans Community Complex	8/18/2014 8:49 PM
38	Same place as always	8/18/2014 6:32 PM
39	police building or moose building	8/18/2014 5:38 PM
40	Evans Community Blding	8/18/2014 2:25 PM
41	The Evans Community Complex	8/18/2014 12:59 PM
42	Evans Community Center, City Park weather permitting, and public events that are scheduled	8/18/2014 10:52 AM
43	Community Center	8/18/2014 10:25 AM
44	Evan Community Complex	8/18/2014 9:35 AM
45	City Complex	8/18/2014 8:27 AM
46	City offices	8/18/2014 8:27 AM
47	community complex	8/18/2014 8:21 AM
48	community center	8/18/2014 7:46 AM

## Riverside Park Survey

49	Community center	8/18/2014 7:31 AM
50	City if evans building	8/14/2014 9:10 AM
51	Community center, provided parking is roped off in areas close by for excess attendance. Ideally we should want such attendance.	8/13/2014 12:23 PM
52	City of Evans Complex	8/13/2014 11:41 AM
53	City Park or City Hall	8/12/2014 7:16 PM
54	city hall	8/12/2014 5:53 PM
55	Community Center	8/11/2014 2:21 PM
56	City Hall	8/11/2014 1:55 PM
57	Community Center	8/11/2014 12:38 PM
58	Community Center	8/11/2014 12:31 PM
59	City of Evans Building	8/11/2014 12:20 PM
60	The Rec Center	8/11/2014 12:00 PM
61	The Community Center or new library	8/11/2014 10:48 AM
62	Recreation Center	8/10/2014 8:12 AM
63	Evans City building.	8/9/2014 12:11 PM
64	recreation center	8/9/2014 9:56 AM
65	Where ever works for the city	8/8/2014 4:33 PM
66	City hall building	8/8/2014 12:42 PM
67	Community Center	8/7/2014 12:03 PM
68	Community Center	8/7/2014 11:44 AM
69	Evans Community Complex	8/7/2014 10:43 AM
70	evans rec	8/5/2014 9:32 PM
71	community complex	8/5/2014 6:44 PM
72	The Evans Community Complex	8/5/2014 9:05 AM
73	Riverside Park	8/5/2014 12:59 AM
74	Journey Christian Church	8/4/2014 11:45 PM
75	Evans Rec	8/4/2014 9:01 PM
76	community complex	8/4/2014 5:11 PM
77	Community Center	8/4/2014 3:18 PM
78	Community center	8/4/2014 8:09 AM
79	City Hall. And would be nice to get dates a week or so prior to event. I have not found about meetings till the dates have been taken by other commitments.	8/3/2014 3:34 PM
80	Evans Community Complex	8/3/2014 1:43 PM
81	city hall Library when completed	7/31/2014 8:36 PM
82	Evans Community Complex	7/31/2014 6:59 PM
83	the new Riverside building, once it is opened	7/31/2014 3:54 PM
84	Evans Recreation Building	7/31/2014 2:40 PM
85	Evans Community Complex	7/31/2014 9:47 AM
86	Evans Community Center	7/30/2014 11:40 PM
87	City building.	7/30/2014 6:06 PM
88	Evans Community Center, Evans school or park	7/30/2014 5:02 PM
89	Community Complex	7/30/2014 12:45 PM
90	rec center	7/30/2014 10:14 AM
91	Pick a school	7/30/2014 6:23 AM
92	Community Center	7/29/2014 6:53 PM
93	City Park	7/29/2014 5:52 PM
94	City offices	7/29/2014 2:59 PM
95	Evans Rec Center	7/29/2014 2:29 PM
96	Community center	7/28/2014 10:45 PM
97	Rec center / town hall	7/28/2014 9:21 PM
98	Community complex	7/28/2014 8:31 PM
99	City building	7/28/2014 8:10 PM
100	community center	7/28/2014 4:56 PM
101	City of Evans Municipal Building is fine.	7/28/2014 3:21 PM

## Riverside Park Survey

102	School auditorium	7/28/2014 2:27 PM
103	City of Evans	7/28/2014 10:22 AM
104	Community center	7/28/2014 9:52 AM
105	Evans complex	7/28/2014 9:42 AM
106	Rec center	7/28/2014 9:37 AM
107	Rec center	7/28/2014 9:27 AM
108	Community center	7/28/2014 9:26 AM
109	City hall	7/28/2014 9:02 AM
110	Parks	7/28/2014 8:45 AM

## Riverside Park Survey

### Q45 Do you have any additional suggestions for the Riverside Park Master Plan?

Answered: 54 Skipped: 261

#	Responses	Date
1	Seating for spectators	8/26/2014 8:25 PM
2	Get it done ASAP! We have senior citizens in need of their physical activities!	8/26/2014 3:52 PM
3	Clean up area and make it more appealing for visitors.	8/25/2014 3:14 PM
4	Open trails as soon as possible.	8/23/2014 6:43 PM
5	open space, don't want to take the change of flooding again and damaging millions of dollars of infrastructure	8/20/2014 9:50 AM
6	Make sure to reach out to Hispanic families, they are a large part of Evans, but they must be reached out to with respect in order for them to participate	8/19/2014 8:39 PM
7	Don't be cheap about it. Make it a destination spot for the region.	8/19/2014 4:04 PM
8	golf	8/19/2014 11:42 AM
9	Create an old town with shops, river walk, and sports area	8/19/2014 8:28 AM
10	Outdoor concerts	8/18/2014 6:32 PM
11	master athletic facility to keep youth busy and not in gangs. give them a future to be proud of their accomplishments.	8/18/2014 5:40 PM
12	no	8/18/2014 2:25 PM
13	The future plan of the Riverside Park should present resiliency and effective flood safety	8/18/2014 11:01 AM
14	I would like to see recreational water activities included as part of the Master Plan but above all make it safe for all who use it including helping protect the properties and future businesses from potential flooding. There is a lot of wild life on the South Side of the river. Do not forget the animals and the things that made the South Platte River. I believe this should be considered as part of the Master Plan!	8/18/2014 8:40 AM
15	Keep it clean and have police assure safety no loitering after 11 pm	8/18/2014 8:28 AM
16	GET IT BACK AS SOON AS POSSIBLE	8/13/2014 5:22 PM
17	Include a Mountain Bike Park.	8/13/2014 12:23 PM
18	have more outdoor options - not just for sports	8/13/2014 11:42 AM
19	Enforce the berms as they are	8/12/2014 7:18 PM
20	Tennis Courts?	8/11/2014 12:31 PM
21	Many that I would like to talk about	8/11/2014 12:20 PM
22	Water slide into the river.	8/9/2014 3:05 PM
23	A HUGE park with splash park.	8/9/2014 1:25 PM
24	Have a train for the kids to ride=) and a icecream truck drive by.	8/9/2014 1:12 PM
25	A splash area and a boating facilities.	8/9/2014 12:25 PM
26	I really feel that a splash park needs to be incorporated into the park, not enclosed, but as a feature of the park.	8/9/2014 12:13 PM
27	Expedite it!	8/8/2014 4:33 PM
28	How about community clean up days? volunteering, help from private business (Haliburtin, Ensign...), And how about our lottery dollars at work?	8/8/2014 12:47 PM
29	Move professional ball fields to the west of highway 85 and if any ball fields are placed there make them the family outing type example ball field at city park. The money used on professional ball fields is considerable and should not be placed near a flood plain. Build a professional sport complex to the North-West of Evans away from flood plane and near major road way for easy access this includes (ball fields - soccer fields - basket ball - hockey - etc) any tornement level event needs a sport complex. At one time the Hispanic World Champion Ship Tornament organizers looked at Riverside Complex as a possible location for the World Championship Finals in the end the lack of easy access, limited parking, lack of consession stands and othe issues it looked else where. The world championship on average brings 1 to 2 million dollars of spending to the area it is held and attracts anywhere from 15,000 to 30,000 people to the five day event. Invest in a. sport complex north west of evans as near to Hwy 34 as possible	8/7/2014 6:36 PM
30	Move professional ball fields to the west of highway 85 and if any ball fields are placed there make them the family outing type example ball field at city park. The money used on professional ball fields is considerable and should not be placed near a flood plain. Build a professional sport complex to the North-West of Evans away from flood plane and near major road way for easy access this includes (ball fields - soccer fields - basket ball - hockey - etc) any tornement level event needs a sport complex. At one time the Hispanic World Champion Ship Tornament organizers looked at Riverside Complex as a possible location for the World Championship Finals in the end the lack of easy access, limited parking, lack of consession stands and othe issues it looked else where. The world championship on average brings 1 to 2 million dollars of spending to the area it is held and attracts anywhere from 15,000 to 30,000 people to the five day event. Invest in a. sport complex north west of evans as near to Hwy 34 as possible.	8/7/2014 6:12 PM
31	no	8/7/2014 12:03 PM
32	Make the trails accessible for police to conduct frequent patrols.	8/7/2014 10:45 AM
33	Rebuild the multi-use recreational trail that connects to other regional bike pathways/trails.	8/5/2014 3:36 PM

## Riverside Park Survey

34	Addition of a Community Garden	8/5/2014 8:53 AM
35	I believe any additional housing in the flooded area would be trouble. I would add that a minimal investment would be best, like open or natural area.	8/5/2014 1:02 AM
36	4 ballfields designed with shade structures	8/4/2014 9:02 PM
37	Why can't the river bed be excavated to deepen the water flow channel, eliminating the silt that has filled in any channel and left a wide shallow river bed.	8/3/2014 3:38 PM
38	There were so many uses & users at Riverside park, we need to open it as soon as possible	7/31/2014 8:38 PM
39	Change west entrance on 42nd street to a walk/bike entrance to allow the west side of the park to be the nature area. Put in driving entrance on 40 street as this is enters the park more centrally.	7/31/2014 7:02 PM
40	I'd love to see gravel and dirt paths, rather than asphalt or concrete - natural surfacing is so much easier on my body when walking/hiking	7/31/2014 3:55 PM
41	if possible keep what was there and add more natural areas, incorporate the land that was once Eastwood Village.	7/30/2014 11:44 PM
42	Yes do not try to make this a historic district where we lose our property rights to pacify those who don't live here.	7/30/2014 6:07 PM
43	we would love to have more than just 4 fields rebuilt or if only 4 that would be great too. we would use them a lot during our spring and summer months to run our youth events like we did last year!	7/30/2014 2:26 PM
44	Good luck	7/30/2014 12:46 PM
45	Have additional overflow paved lot and dirt trail around whole park for varied use	7/29/2014 6:54 PM
46	Keep it natural but keep in mind the limitations of the environment or the South Platte	7/29/2014 5:54 PM
47	No	7/29/2014 2:29 PM
48	I think whatever is going to be will be great but we as homeowners would love the weeds and trash cleaned up as soon as possible.	7/28/2014 8:32 PM
49	Restore Riverside Park to the way it was	7/28/2014 7:02 PM
50	I loved the way the park use to be.	7/28/2014 5:59 PM
51	Was is the money coming from to rebuild???	7/28/2014 4:57 PM
52	No	7/28/2014 10:22 AM
53	Keep it simple, more walking path options, don't need high traffic things like baseball fields, soccer fields are ok, have it patrolled at all times, If ti is closed at night close it at night.	7/28/2014 9:08 AM
54	No	7/28/2014 8:45 AM

## Riverside Park Survey

### Q46 Do you have any additional suggestions for the Historic Evans Master Plan?

Answered: 40 Skipped: 275

#	Responses	Date
1	Not at this time	8/26/2014 8:25 PM
2	Please Hurry! I extremely miss my daily walks and have put on 25 lbs since the flood happened in Sept 2013. There is no where else to walk!!!	8/26/2014 3:52 PM
3	Listen to the residents of that area	8/23/2014 6:43 PM
4	Less money for curbs, more for roads.	8/21/2014 4:58 PM
5	Rely on Library to help promote Historic Evans.	8/21/2014 4:48 PM
6	Housing, parks and trails; business	8/21/2014 4:28 PM
7	Fix the roads.	8/21/2014 3:38 PM
8	No. I will try to visit the area soon and learn more about it.	8/21/2014 9:34 AM
9	Keep trying to improve it.	8/20/2014 4:29 PM
10	Create a well lighted area at night within a downtown area and less residential	8/19/2014 8:28 AM
11	I don't know how to instill pride in your property??	8/18/2014 5:40 PM
12	no	8/18/2014 2:25 PM
13	Christmas lights placed along 37th street. Maybe other items like street light banners similar to the Stampede banners	8/18/2014 11:01 AM
14	Try to preserve Some of the Old but appropriate Businesses and Restaurants, River Walk, Fast Food establishments. Keep people coming back to Evans.	8/18/2014 8:40 AM
15	force the truck stop to repair or remove the old carwash building	8/18/2014 7:48 AM
16	More public use, less housing and private use.	8/13/2014 12:23 PM
17	A Vintage-look for the buildings would be nice and may attract more people	8/13/2014 11:42 AM
18	Businesses with a community focus	8/12/2014 7:18 PM
19	No Section 8 Apts	8/11/2014 12:31 PM
20	Expand some bike and walking trails and open some trails before all redone, maybe add more street lights also - seems dark at night.	8/11/2014 12:01 PM
21	When they build Riverside Park, there needs to be a larger play area for kids ages 3 and under, but in close proximity to the 3-12 playground so parents with both age groups can supervise each at the same time.	8/11/2014 11:20 AM
22	water fountains and scolptures	8/9/2014 1:12 PM
23	1. Establish a economic development plan to assist existing business to re-invest into the area - capital improvement there is a small base of existing business in the area create a economic envitonment to assist them improve their properties. 2. Most of the historic area is inside a enterprise zone - work with the state to develop programs to assist business wanting to take advantage of the zone to improve their properties and grow creating new jobs. 3. Discourage franchise (7-11, cum & go, dollar store, family dollar) type of business development. Encourage small independant business into the area, coffee shops (non franchise type), resturants (non franchise type no McDolands or Palaminos keep them to the west Krautburger Kitchen, Burritos, Deli Shop and simular yes), art center, photography, Urgent Care or Medical Center, gift shops and simular cottage industry. 4. Stop low income multi family and apartment development the area is over run of these type of housing. No condos, townhouses, and other modern multi-family dwellings. Encourage single family homes development in the area in a variety of price ranges from low income to upper income. MultiFamily units create a cluttered feel and takes away from small town feel of the area. 5. Creating the Urban Renewal Zone in Historal Evans was 20 years to late and by the time the Urban Renewal Zone Authority builds up any funding from taxes it will be too late. Street improvements, drainage improvements, sidewalks, lighting improvement, (power, gasline, communication, sewer) infrastructure needs upgrading today not in twenty years. The zone should have been established in the 80's it would have the funds available today for the improvements needed today. In order to attract new small business and/or developers modern infrastructure needs to be in place to support the new or existing business investment in the area. It needs to be done in a manner to enhance the small town feel and not in a manner to make it look like another sub-division in the city. Example Drive down Golden, Boulder, Central Streets and contrast to Riverside Parkway, and Salida Ct. the latter feels like a sub-division the former feels like a neighborhood / community.	8/7/2014 6:36 PM

## Riverside Park Survey

24	<p>1. Establish a economic development plan to assist existing business to re-invest into the area - capital improvement there is a small base of existing business in the area create a economic envitonment to assist them improve their properties. 2. Most of the historic area is inside a enterprise zone - work with the state to develop programs to assist business wanting to take advantage of the zone to improve their properties and grow creating new jobs. 3. Discourage franchise (7-11, cum &amp; go, dollar store, family dollar) type of business development. Encourage small independant business into the area, coffee shops (non franchise type), resturants (non franchise type no McDolands or Palaminos keep them to the west Krautburger Kitchen, Burritos, Deli Shop and simular yes), art center, photography, Urgent Care or Medical Center, gift shops and simular cottage industry. 4. Stop low income multi family and apartment development the area is over run of these type of housing. No condos, townhouses, and other modern multi-family dwellings. Encourage single family homes development in the area in a variety of price ranges from low income to upper income. MultiFamily units create a cluttered feel and takes away from small town feel of the area. 5. Creating the Urban Renewal Zone in Historal Evans was 20 years to late and by the time the Urban Renewal Zone Authority builds up any funding from taxes it will be too late. Street improvements, drainage improvements, sidewalks, lighting improvement, (power, gasline, communication, sewer) infrastructure needs upgrading today not in twenty years. The zone should have been established in the 80's it would have the funds available today for the improvements needed today. In order to attract new small business and/or developers modern infrastructure needs to be in place to support the new or existing business investment in the area. It needs to be done in a manner to enhance the small town feel and not in a manner to make it look like another sub-division in the city. Example Drive down Golden, Boulder, Central Streets and contrast to Riverside Parkway, and Salida Ct. the latter feels like a sub-division the former feels like a neighborhood / community.</p>	8/7/2014 6:12 PM
25	no	8/7/2014 12:03 PM
26	Improved Lighting / HOAs	8/7/2014 10:45 AM
27	better lighting	8/5/2014 6:45 PM
28	I would hope you would send updates, titillating information to entice people to attend meetings.	8/3/2014 3:38 PM
29	please include sidewalks and bicycle paths wherever possible	7/31/2014 3:55 PM
30	With the library moving in the city has an opportunity to update and improve the image of Evans overall. Starting with the areas around the library the city should improve streets, lighting, and sidewalks. All these things will improve the property values and increase Evans property taxes. That additional revenue can be reinvested in the east side and hopefully have a "trickle down" effect to the rest of the city. If the city abandons Riverside park it will be like taking one step forward (library) and two backwards. The city needs to rebuild Riverside park so the east side is not lost.	7/30/2014 11:44 PM
31	The city has no business worrying about property values but should instead work to maintain home owner rights.	7/30/2014 6:07 PM
32	Continue to communicate with the community	7/30/2014 5:02 PM
33	Good luck	7/30/2014 12:46 PM
34	Focus on an arts culture and will stimulate both interest and business, make it unique	7/29/2014 5:54 PM
35	No	7/29/2014 2:29 PM
36	Needed concessions for events like baseball and soccer ect when kids were playing their	7/28/2014 5:59 PM
37	Was is the money coming from to rebuild???	7/28/2014 4:57 PM
38	No	7/28/2014 10:22 AM
39	Don't need more trailer courts, update the roads and sidewalks, fix 37th street. Road side bike paths could be used for pedestrians too if sidewalks are not doable. A park on the north side of 37th would be nice for that neighborhood so kids do not have to walk across 37th. Single family or small duplex or condo style houses. Code enforcement needs to happen all the time. The same people in old town abuse the system over and over and get away with it, it seems.	7/28/2014 9:08 AM
40	Not at this time.	7/28/2014 8:45 AM



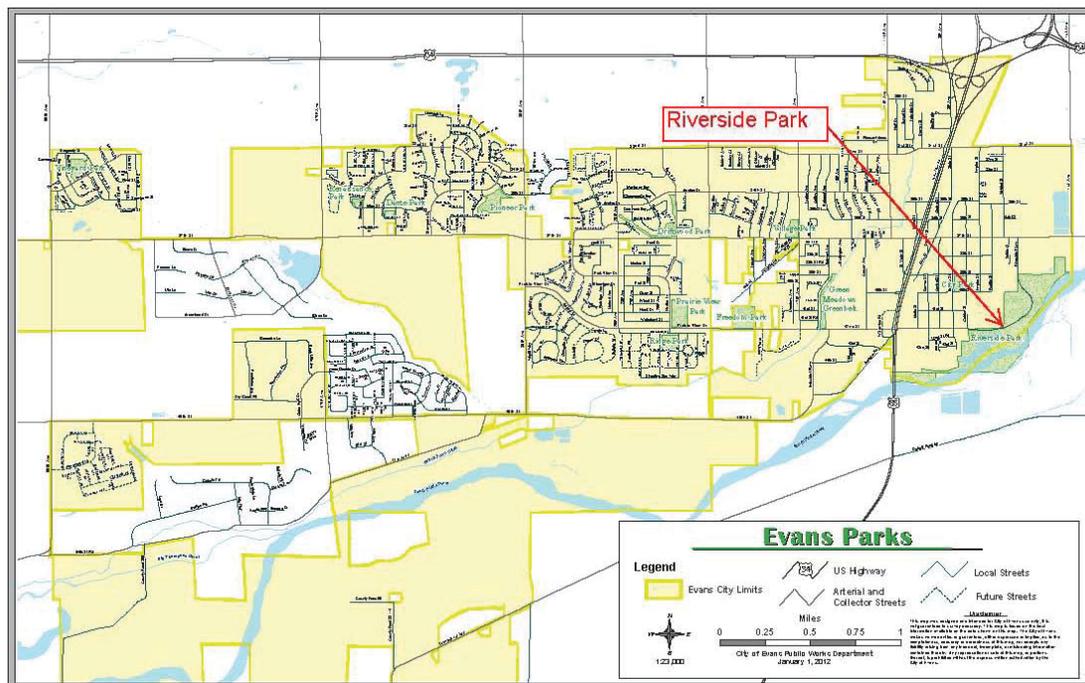
# APPENDIX A2: RIVERSIDE PARK POST-FLOOD ASSESSMENT



MEMORANDUM

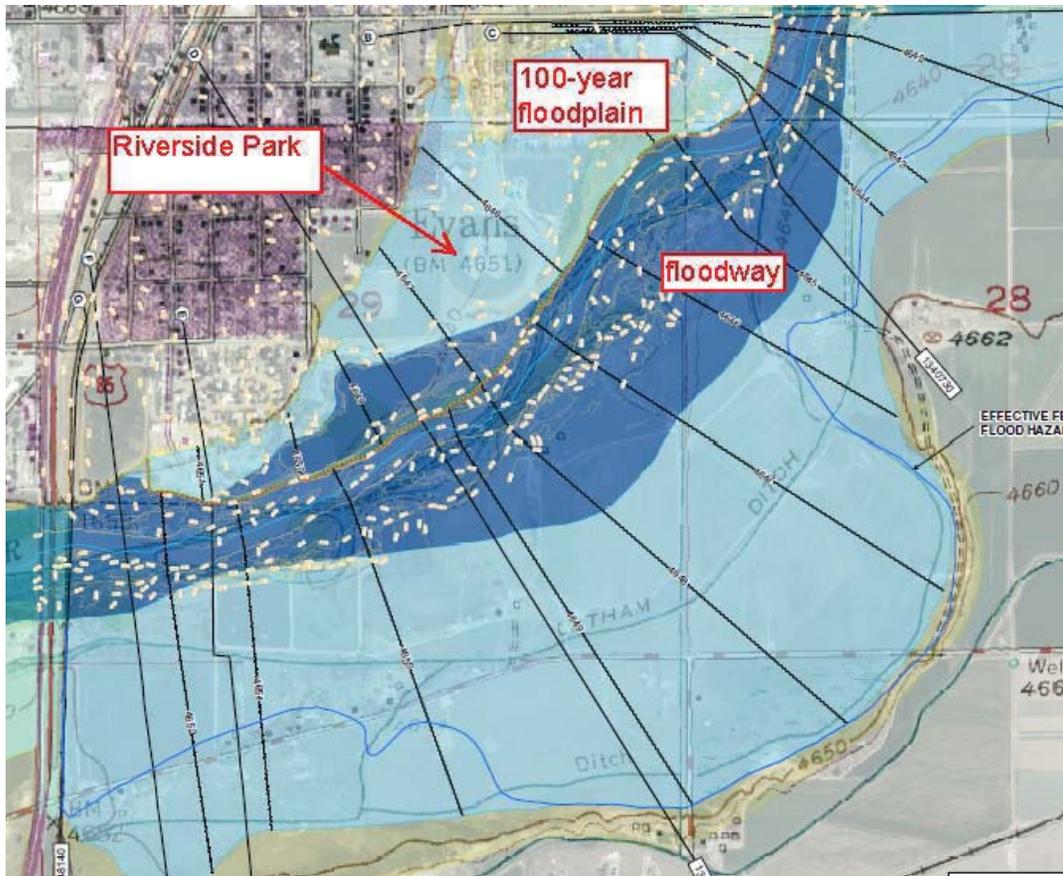
To: Kevin Shanks, THK  
From: Josh Hollon, Pedro Fernandez, Frank Schultz  
cc: Jon Altschuld  
Date: 8/12/14  
Re: Riverside Park Post-Flood Assessment

On July 3, 2014, Atkins hydraulic, civil/utility and structural staff visited the Riverside Park in Evans, Colorado, to perform a visual assessment of the park. The intent of the assessment was to provide a brief description of the existing conditions, review damages caused by the September 2013 flood event and provide conceptual guidance on possible repair and enhancements as part of the Riverside Park Master Plan.



### Hydraulic Assessment

Riverside Park is located within the 1% annual chance (100-year) floodplain of the South Platte River. The park is separated from the main channel of the river by an earthen berm. Portions of the berm may also be constructed of debris and trash. Additional information about the berm can be found in the HDR draft Technical Memorandum, dated Thursday July 3 2014 and City of Evans Riverside Park Berm Evaluation, dated July 14, 2014.



During the September 2013 flood event, a portion or portions of the berm failed and allowed floodwaters to flow through the berm and into the park. The berm failure occurred upstream of the park at the narrowest section of the berm that separates the South Platte River from the pond. The berm failure allowed floodwaters and flood debris to flow into the park. Erosive velocities damaged the roadway, paved trail, solar panels and uncovered a previous dump site.



As floodwaters flowed across the park road, localized, erosive velocities scoured the downstream side of the road and undermined the existing roadway.



Figure 1. Damage to Park Road

Similar to the roadway failures, floodwater scoured areas near the trail and exposed large areas of trash and debris that had been buried prior to the park construction.



**Figure 2. Damage to Paved Trail**

The erosion caused by the floodwaters also undermined the foundation of the existing solar panels and exposed more areas of buried trash and debris.



**Figure 3. Damage to Solar Panels**

Flood debris also caused damage to the park. As debris accumulated on the ball field fences, hydraulic pressure pushed over fences. Debris accumulation on the ball fields and parking areas was also observed. Sediment deposits were also observed inside the pump house and restroom buildings, as well as throughout the park.



**Figure 4. Damage to Fence**



**Figure 5. Accumulated Debris**

The flood waters in the park reached a depth of approximately four feet and inundated the pump house and restroom building. The floodwaters also inundated the electrical panels located in those buildings.



**Figure 6. Accumulated Sediment in Storage Building**

The majority of the damage caused by the flood waters in the park area was associated with the damage to the roadway and paved trails. Those features would need to be repaired or replaced prior to re-opening of the park. The exposure of the buried trash identified possible environmental concerns and the removal of the trash should be coordinated with environmental professionals. Other areas of erosion and scouring should be filled and re-vegetated.

#### **Civil/Utility Assessment**

The purpose of this civil/utility assessment is the following:

- Identify the type and location of each existing utility
- Identify flood impact to each utility (if any)
- Recommend options for replacement if required

#### *Existing Water Facilities*

There are existing water line facilities in the limits of the park. The existing water line enters the north side of the park in Riverside Drive. The water line continues south to the restroom facilities. The location of the existing waterline is not apparent, however there is an existing curb stop locating the water service line to the restroom facilities. The water service has been turned off to the facility. However there is no apparent damage to the water line.

#### *Existing Sanitary Sewer Facilities*

There are existing sanitary sewer facilities in the limits of the park. The existing sanitary sewer line enters the north side of the park in Riverside Drive. There is an existing manhole located on the east side of Riverside Drive just before the first parking area. This existing sewer line provides sewer service to the bathroom facilities. With the water service turned off to the facility, it is difficult to determine to condition of the sanitary sewer without running water. The bathroom facility is filled with sediment and the water level in the facility exceeded the height of the toilet opening to the sewer facilities. Based upon the field observation, there are no visible impacts to the existing sanitary sewer facilities.



**Figure 7. Flood Waters Above Plumbing Fixtures**

*Existing Irrigation Facilities*

There are existing irrigation facilities throughout the park. In general, these facilities are buried and do not appear to be impacted by the flood events in the park overall. However this is one instance where the facilities have been impacted. The existing irrigation conduits have been eroded out near the existing pump house facility near the existing water storage pond just north of the South Platte River. The existing pump house was significantly under water. The existing irrigation facilities outside the building need to be replaced.



**Figure 8. Exposed Irrigation Lines**

The existing pump house located near the water storage pond north of the South Platte River was significantly flooded. However the existing water lines and pumps in the building appear to have no flood damage.

#### *Existing Electrical Facilities*

There are existing electrical facilities throughout the park. In general, it appears that the existing electrical system providing electrical service to the park has not been damaged. After further observation of the existing light poles that serve the ball fields, there appears to be no damage to this portion of the electrical system. The existing pump house located near the water storage pond north of the South Platte River was significantly flooded. The electrical conduits adjacent to the building have been eroded and exposed. These electrical conduits providing electric service to the pump house need to be replaced. There are also existing solar panels located to the east of the existing pump house. The foundations of some panels have been undermined and need to be fixed.

#### *Existing Storm Sewer Facilities*

There are various inlets and culverts throughout the park area. These facilities were significantly underwater during the flood event. The system does not visibly appear to be damaged; however, debris and sediment will need to be removed from the system when the remainder of the park is cleared of debris and sediment.

### **Structural Assessments**

The intent of the structural assessment was to provide a brief description of the existing conditions, determine if flooding on the premises in September, 2013 compromised the structural integrity of the structures, and provide guidance on structural repairs needed, if any.

Two structures were visually evaluated, as shown in Figure 9:

- Pump station building
- Restroom facility building

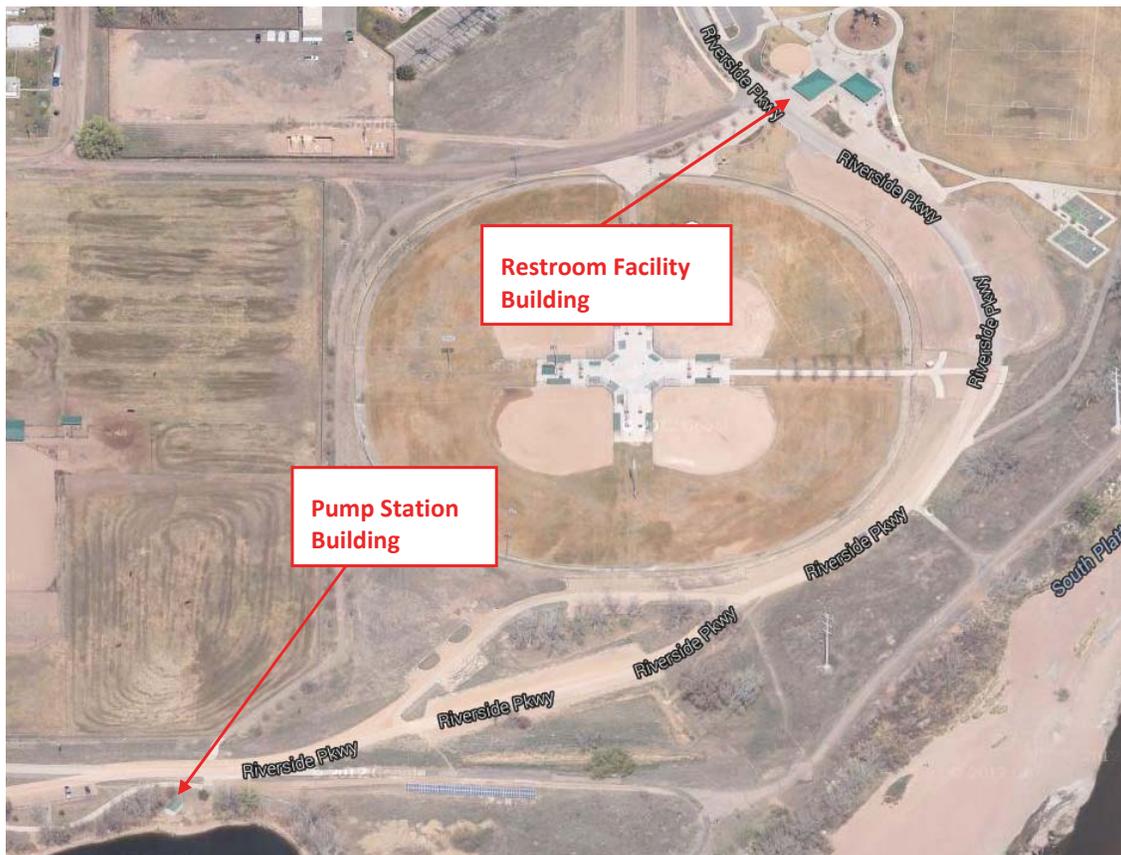


Figure 9. Structures Location Map (Riverside Park)

#### *Pump Station Building*

The pump station structure, shown in Figure 10, was constructed with concrete masonry unit (CMU) walls and wood trusses for the roof and diaphragm. The CMU walls were built using a running bond pattern. During our walkthrough, no evidence of bowing in the walls was found, nor displacement between walls and floor. Connections between the CMU walls and the diaphragm (trusses) were in good condition—no signs of distress were found. During our inspection, only one corner joint showed cracking, as seen in Figure 11. This is, however, not a structural issue, and the crack was not observed in the interior of the building. The crack can be repaired easily by repointing or tuckpointing the joint. Overall, the building is structurally sound. However, there is significant scour around the building foundation, as shown in Figure 12. Nonetheless, no signs of settlement were found and the foundation appeared in good condition. The fill around the structure will need to be replaced and recompact.



**Figure 10. Pump Station Building, Looking South**



**Figure 11. Joint Crack at the Lower Southeast Corner Block**



**Figure 12. Scour around Pump Station Building Foundation, Looking North**

#### *Restroom Facility Building*

The restroom facility is located on the northeast side of the park, as seen in Figure 9. Figure 13 shows that the exterior walls were built using two different masonry units: CMU and brick. It appears that the exterior walls are infill panels rather than structural shear walls. That is, they form the skin of the building, but are not part of the lateral resisting system. On the other hand, the interior walls were constructed with CMU blocks using a running bond pattern, as seen in Figure 14. It is very likely that the interior walls are structural in nature and form part of the lateral resisting system. The roof structure consists of steel elements. Due to the existing soffit, it was not possible to inspect the underside of the roof. However, no visible signs of failure were found between the walls and the soffit that could indicate structural distress in the roof system.



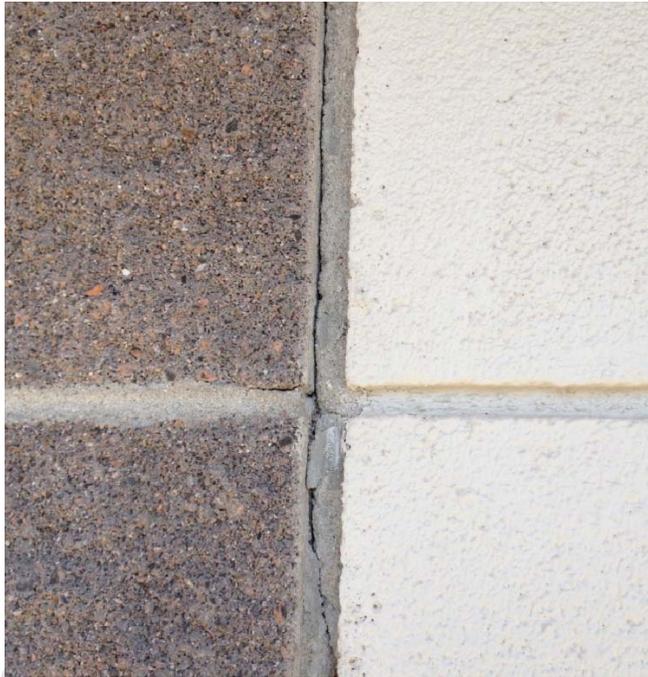
**Figure 13. Restroom Facility**



**Figure 14. CMU Interior Walls**

Vertical cracks were found on the exterior walls at the joints between the CMU block sections and the brick sections. Figure 15 shows an example of this cracking. These cracks are very likely to have formed prior to the flooding. This type of crack is very common in construction where a weak joint is formed by using two dissimilar masonry patterns. However, no cracks were found in the interior walls, which appear to be in good condition. There were no visible signs of bowing in the walls, structural distress, or

any other kind of structural failure that could compromise the structural integrity of the building. In addition, there is no sign of floor slab failure that could indicate a loss of fines under the slab or foundation failure. Overall, the building appears to be in good structural condition. The cracked joints can be repaired by repointing or tuckpointing.



**Figure 15. Vertical Crack Between CMU and Brick Sections**



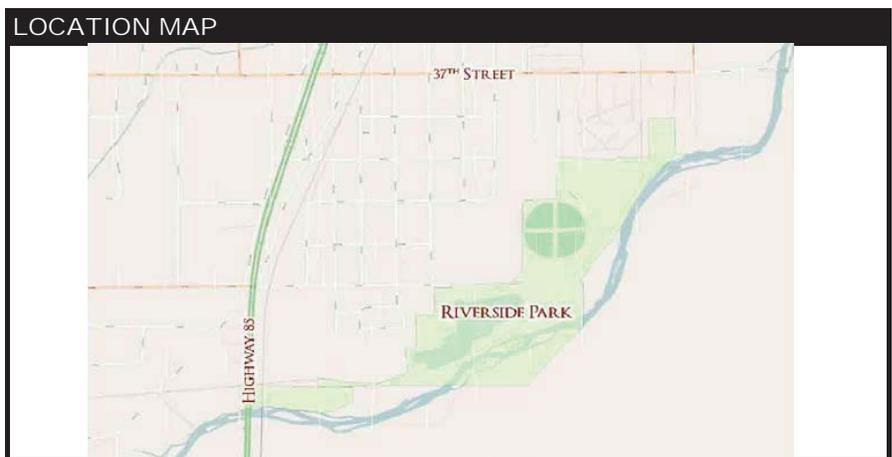
# APPENDIX A3: CAPITAL COST SHEETS

<b>PROJECT TITLE:</b>	PW 997 Riverside Park Base Design
<b>DESCRIPTION:</b>	Design, Engineering, Construction and Construction Supervision for the rebuilding of Riverside Park. This scope of work includes the line items that can be funded with Project Worksheet #997 funds.
<b>JUSTIFICATION:</b>	The Park was destroyed by the September 2013 floods. This scope of work is to rebuild the base Park as designed in the Riverside Park Master Plan.

COMPLIANT WITH COMP. PLAN AND/OR OTHER MASTER PLAN?

YES  NO

EXPENDITURE ESTIMATES	
PROJECT ELEMENT	EST.
PLANNING/FEASIBILITY	
DESIGN	\$ 360,000
ROW/LAND AQUISITION	
CONSTRUCTION	\$ 5,631,491
EQUIPMENT	
OTHER	
<b>TOTAL</b>	<b>\$ 5,991,491</b>



OPERATIONAL IMPACTS	
PROJECT ELEMENT	EST.
ANNUAL MAINTENANCE	???
PERSONNEL COSTS	
OTHER	
<b>TOTAL</b>	<b>\$ -</b>

FUNDING SOURCES	
SOURCE	EST.
G. O. BONDS	
SPECIAL ASSMT.	
REVENUE BONDS	
CURRENT REV.	
FEDERAL AID	\$ 5,631,491
STATE AID	
PRIVATE PARTNERSHIP	
INTERNAL FUNDS	
DEDICATED FEES	
OTHER	\$ 360,000
<b>TOTAL</b>	<b>\$ 5,991,491</b>

ADDITIONAL SCORING INFORMATION

**COMMENTS**

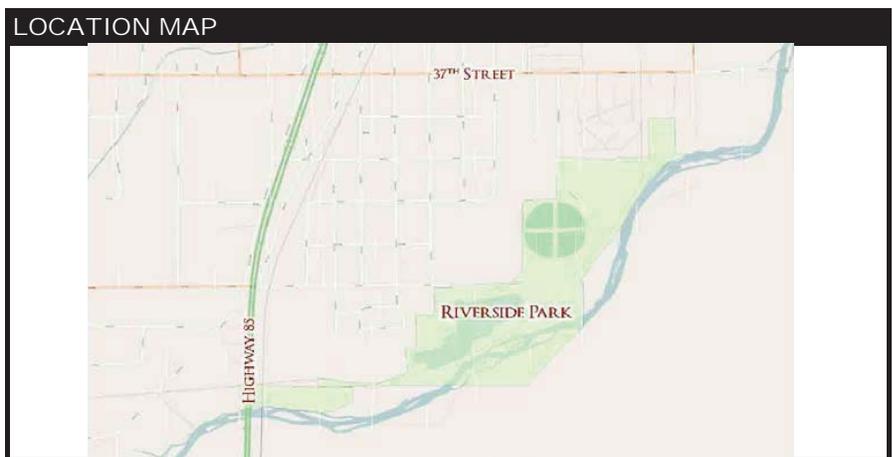
Design and Engineering Fees appropriate for redesigning and rebuilding the Park as a more flood resilient park were not accounted for in the original Project Worksheet #997. Design and Engineering fees were accounted for (in the amount of \$161,694) in PW #997, but only with the intent of cleaning and rebuilding the Park to pre-flood conditions. This scope of work does not include removal of the landfill debris berm. This cost estimate includes a 30% contingency on all items except design and engineering fees. This contingency includes Davis-Bacon wages (necessary if Federal funding is used), which can vary from 1.3-1.6 times normal labor costs. This equates to 5-10% of the 30% contingency; if Davis-Bacon wages are not required, the contingency can be lowered to 20-25%.

<b>PROJECT TITLE:</b>	PW 997 Riverside Park Add Alternates
<b>DESCRIPTION:</b>	Design, Engineering, Construction and Construction Supervision for the rebuilding of Riverside Park. This scope of work includes the line items that may be able to be funded with Project Worksheet #997 funds, but can be pushed to a later date if funding does not allow for them to be part of this base park phase. If they need to be pushed to a later phase, they should be grouped with the Additional Park Enhancements phase.
<b>JUSTIFICATION:</b>	The Park was destroyed by the September 2013 floods. This scope of work is to rebuild the base Park as designed in the Riverside Park Master Plan.

COMPLIANT WITH COMP. PLAN AND/OR OTHER MASTER PLAN?

YES  NO

EXPENDITURE ESTIMATES	
PROJECT ELEMENT	EST.
PLANNING/FEASIBILITY	
DESIGN	\$ 60,000
ROW/LAND AQUISITION	
CONSTRUCTION	\$ 906,638
EQUIPMENT	
OTHER	
<b>TOTAL</b>	<b>\$ 966,638</b>



OPERATIONAL IMPACTS	
PROJECT ELEMENT	EST.
ANNUAL MAINTENANCE	???
PERSONNEL COSTS	
OTHER	
<b>TOTAL</b>	<b>\$ -</b>

FUNDING SOURCES	
SOURCE	EST.
G. O. BONDS	
SPECIAL ASSMT.	
REVENUE BONDS	
CURRENT REV.	
FEDERAL AID	
STATE AID	
PRIVATE PARTNERSHIP	
INTERNAL FUNDS	
DEDICATED FEES	
OTHER (GRANTS)	\$ 966,638
<b>TOTAL</b>	<b>\$ 966,638</b>

ADDITIONAL SCORING INFORMATION

**COMMENTS**

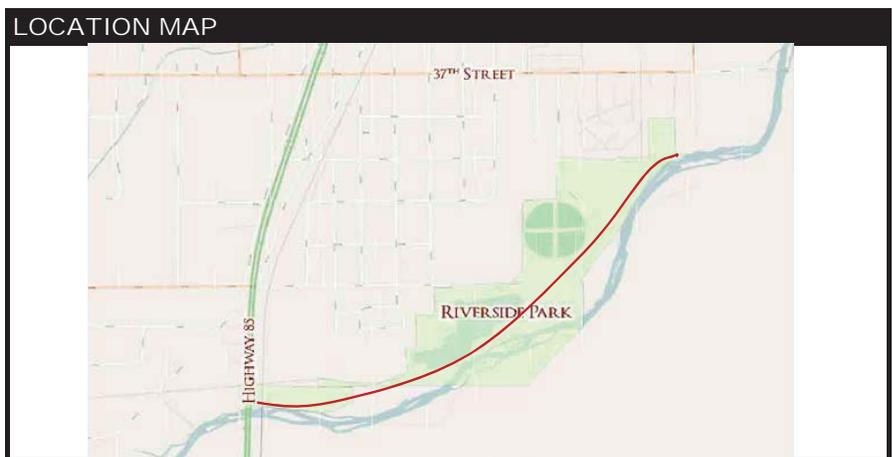
This cost estimate includes a 30% contingency on all items except design and engineering fees. This contingency includes Davis-Bacon wages (necessary if Federal funding is used), which can vary from 1.3-1.6 times normal labor costs. This equates to 5-10% of the 30% contingency; if Davis-Bacon wages are not required, the contingency can be lowered to 20-25%.

<b>PROJECT TITLE:</b>	<b>PW 608 Riverside Park Trails Reconstruction</b>
<b>DESCRIPTION:</b>	Design, Engineering, Construction and Construction Supervision for the rebuilding of the main concrete trails at Riverside Park. This scope of work does not include plazas or trails that are part of the ballfield sports complex.
<b>JUSTIFICATION:</b>	The Park was destroyed by the September 2013 floods. This scope of work is to rebuild the main concrete Trails at the Park as designed in the Riverside Park Master Plan.

COMPLIANT WITH COMP. PLAN AND/OR OTHER MASTER PLAN?

YES  NO

EXPENDITURE ESTIMATES	
PROJECT ELEMENT	EST.
PLANNING/FEASIBILITY	
DESIGN	\$ 60,000
ROW/LAND AQUISITION	
CONSTRUCTION	\$ 781,035
EQUIPMENT	
OTHER	
<b>TOTAL</b>	<b>\$ 841,035</b>



FUNDING SOURCES	
SOURCE	EST.
G. O. BONDS	
SPECIAL ASSMT.	
REVENUE BONDS	
CURRENT REV.	
FEDERAL AID	\$ 841,035
STATE AID	
PRIVATE PARTNERSHIP	
INTERNAL FUNDS	
DEDICATED FEES	
OTHER	
<b>TOTAL</b>	<b>\$ 841,035</b>

ADDITIONAL SCORING INFORMATION

**COMMENTS**

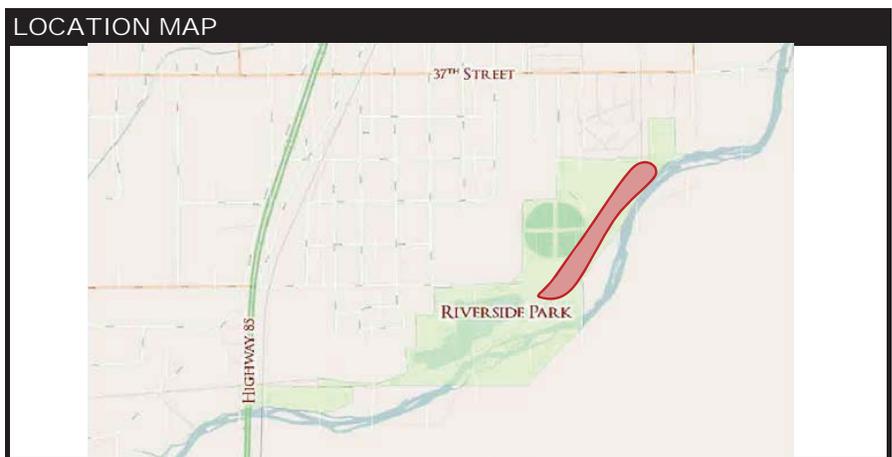
This cost estimate includes a 30% contingency on all items except design and engineering fees. This contingency includes Davis-Bacon wages (necessary if Federal funding is used), which can vary from 1.3-1.6 times normal labor costs. This equates to 5-10% of the 30% contingency; if Davis-Bacon wages are not required, the contingency can be lowered to 20-25%. The original Project Worksheet #608 only accounted for repairing pieces of the existing trail, but in subsequent months, the swelling and shrinking of the landfill debris berm caused additional damage that requires the complete reconstruction of the trail.

<b>PROJECT TITLE:</b>	<b>Riverside Park Landfill Debris Berm Removal</b>
<b>DESCRIPTION:</b>	Design, Engineering, Construction and Construction Supervision for the removal/disposal and/or capping of the landfill debris berm at Riverside Park. This scope of work also includes importing off-site fill to replace landfill debris that is below the proposed grade of the Riverside Park design proposed in the Riverside Park Master Plan.
<b>JUSTIFICATION:</b>	The Park was destroyed by the September 2013 floods. The removal of this debris material is crucial to the reconstruction of Riverside Park as a more flood resilient site.

COMPLIANT WITH COMP. PLAN AND/OR OTHER MASTER PLAN?

YES  NO

EXPENDITURE ESTIMATES	
PROJECT ELEMENT	EST.
PLANNING/FEASIBILITY	
DESIGN	\$ 30,000
ROW/LAND ACQUISITION	
CONSTRUCTION	\$ 5,291,485
EQUIPMENT	
OTHER	
<b>TOTAL</b>	<b>\$ 5,321,485</b>



OPERATIONAL IMPACTS	
PROJECT ELEMENT	EST.
ANNUAL MAINTENANCE	
PERSONNEL COSTS	
OTHER	
<b>TOTAL</b>	<b>\$ -</b>

FUNDING SOURCES	
SOURCE	EST.
G. O. BONDS	
SPECIAL ASSMT.	
REVENUE BONDS	
CURRENT REV.	
FEDERAL AID	
STATE AID	
PRIVATE PARTNERSHIP	
INTERNAL FUNDS	
DEDICATED FEES	
OTHER	\$ 5,321,485
<b>TOTAL</b>	<b>\$ 5,321,485</b>

ADDITIONAL SCORING INFORMATION

**COMMENTS**

This cost estimate includes a 30% contingency on all items except design and engineering fees. This contingency includes Davis-Bacon wages (necessary if Federal funding is used), which can vary from 1.3-1.6 times normal labor costs. This equates to 5-10% of the 30% contingency; if Davis-Bacon wages are not required, the contingency can be lowered to 20-25%.

<b>PROJECT TITLE:</b>	<b>Riverside Park Additional Park Enhancements</b>
<b>DESCRIPTION:</b>	Design, Engineering, Construction and Construction Supervision for the rebuilding of Riverside Park. This scope of work includes the line items that will not be funded by Project Worksheets #997 or #608. It will also include any items from the PW #997 Add Alternates scope of work that are not able to be funding as part of the PW #997 project.
<b>JUSTIFICATION:</b>	The Park was destroyed by the September 2013 floods. This scope of work is to add additional Park enhancements that were identified by City staff, stakeholders, public input and the consultant team during the Riverside Park Master Planning process.

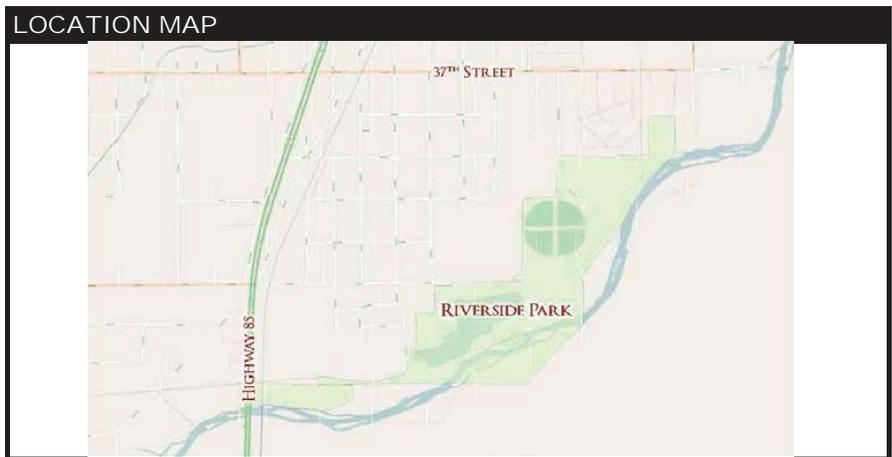
COMPLIANT WITH COMP. PLAN AND/OR OTHER MASTER PLAN?

YES  NO

EXPENDITURE ESTIMATES	
PROJECT ELEMENT	EST.
PLANNING/FEASIBILITY	
DESIGN	\$ 120,000
ROW/LAND AQUISITION	
CONSTRUCTION	\$ 1,929,430
EQUIPMENT	
OTHER	
<b>TOTAL</b>	<b>\$ 2,049,430</b>

OPERATIONAL IMPACTS	
PROJECT ELEMENT	EST.
ANNUAL MAINTENANCE	???
PERSONNEL COSTS	
OTHER	
<b>TOTAL</b>	<b>\$ -</b>

FUNDING SOURCES	
SOURCE	EST.
G. O. BONDS	
SPECIAL ASSMT.	
REVENUE BONDS	
CURRENT REV.	
FEDERAL AID	
STATE AID	
PRIVATE PARTNERSHIP	
INTERNAL FUNDS	
DEDICATED FEES	
OTHER (GRANTS)	\$ 2,049,430
<b>TOTAL</b>	<b>\$ 2,049,430</b>



ADDITIONAL SCORING INFORMATION

**COMMENTS**

This cost estimate includes a 30% contingency on all items except design and engineering fees. This contingency includes Davis-Bacon wages (necessary if Federal funding is used), which can vary from 1.3-1.6 times normal labor costs. This equates to 5-10% of the 30% contingency; if Davis-Bacon wages are not required, the contingency can be lowered to 20-25%.



# APPENDIX A4: PROJECT WORKSHEET #997

<u>P</u>	
Applicant Name:	Application Title:
EVANS	EVANS11 - Riverside Park Facility Repair
Period of Performance Start:	Period of Performance End:
	03-14-2015

## Subgrant Application - Entire Application

**Application Title:** EVANS11 - Riverside Park Facility Repair

**Application Number:**

**Application Type:** Subgrant Application (PW)

Bundle Reference # (Amendment #)	Date Awarded

## Subgrant Application - FEMA Form 90-91

FEDERAL EMERGENCY MANAGEMENT AGENCY PROJECT WORKSHEET						
DISASTER		PROJECT NO.		PA ID NO.	DATE	CATEGORY
FEMA	4145 - DR -CO	EVANS11		123-25280-00	02-23-2014	G
APPLICANT: EVANS				WORK COMPLETE AS OF:		
				02-23-2014 : 0 %		
Site 1 of 1						
DAMAGED FACILITY:				COUNTY: Weld		
Riverside Park						
LOCATION:				LATITUDE:	LONGITUDE:	
Current Version:				40.37334	-104.68279	
Location: T-05-N R-65-W Section 30						
DAMAGE DESCRIPTION AND DIMENSIONS:						
Current Version:						
<p>During the declared incident period of September 11, 2013, through September 30, 2013, the declared severe storms caused flooding, landslides and mudslides throughout Weld County in Colorado. The flooding of all the tributaries in the Weld County area damaged the City of Evans Riverside Park. The flooding of the adjacent South Platte River inundated and scoured areas of the park, that usually do not experience high levels of water. The scouring uncovered an abandoned landfill that had been closed in the 1970s. Glass shards, medical waste and household waste from the landfill were distributed from the landfill area through out the park, causing a need to remove and replace in all the affected areas of use. The areas where this removal will take place have been separated into three types, high use, medium use and low use. The high use areas will include the baseball fields and the multi-use field, and 2" of landfill debris and 6" of topsoil will be removed and 6" of topsoil will be replaced. In the medium use areas 2" of landfill debris and 2" of topsoil will be Removed and Replaced (R and R). In the low use areas mechanical equipment removal will be necessary will be used to remove 2" of landfill debris and 2" Topsoil. Within the Drip Lines of the existing trees at the park the areas will be hand raked to remove the 2" of landfill debris. All the recreational facilities at the park were uninadated with 4.0 Vertical Feet (VF) of flood waters for several days. The applicant has used two engineering consultants and a landscape architect to provide estimates to repair the damage to all the improved facitiies throughout the park. The consultants estimates have been validated using R.S. Means, CDOT 2013 Cost Data or checked online with supplier list costs.</p> <p>This PW is for Facility Repairs only.</p> <p>The GPS given on the cover page is for the Bathroom/Storage Facility at 4000 Riverside Parkway Evans, CO. 80620.</p> <p>The applicants engineering consultants have provided an estimate that has the park broken down into different areas. ( please see the attached combined City of Evans Engineers/FEMA PS spreadsheet estimate for details). The following facilities suffered damage:</p> <p>A. The Play Ground Area -</p>						

1. Earthwork and Grading:
    - a. 20 CY of sediment and debris was deposited on on Concrete (397 LF x 8 LF Width x .17'(2"))
    - b. 51 CY of Play sand at 8" was lost or damaged - Circular Sandbox with a 52 LF Diameter
    - c. 810 LF Clean Concrete Seats and steel coping along Seat walls that was damaged by flood waters
  2. Playground:
    - a. 900 LF 6" Multi-Flow Drain Pipe was clogged with sediment
    - b. 7,250 SF Filter Fabric that was saturated with sediment
    - c. 7,250 SF Engineered Fiber Playground Surface Mulch was unindated with sediment
    - d. 1 EA Replace Entire Existing Play Equipment that was inundated with flood waters
  3. Play Area Site Amentities:
    - a. 4 EA Picnic Tables/Benches were damaged by debris in the flood waters
    - b. 1 EA Grill @ Undamaged
    - c. 1 EA Trash Recepticle was damaged by debris in the flood waters
  4. Landscaping:
    - a. 0 EA Ornamental trees were damaged, but none are included per RP9524.5
    - b. 150 LF 4' 2 Rail split Rail Fencing was lost to flood waters
    - c. 2,090 SF Play Sand at 8" Depth lost or damaged by flood waters
- B. Soccer/Basketball Areas - Please see Scope Note #10**
1. Earthwork and Grading:
    - a. 2,000 CY Removal of Sediment and Debris was deposited on the Concrete
    - b. 4,835 CY - Sediment and Debris was deposited on the Multi Use Field (8" Depth, includes 2" silt/landfill debris (1,209 CY) and 6" Topsoil(3,626 CY)) by flood waters
    - c. 197,787 SF of the Multi Purpose Field sod was contaminated with glass shards, medical waste and other landfill related materials
    - d. 4,150 SF - of the existing Basketball Courts were covered by Sediment damaging the the surface coat and painted court lines
  2. Park Amentities:
    - a. 3 EA Basketball Hoop Standards were damaged by debris in the fiod waters
    - b. 0 EA Park Benches were damaged in this area of the park
    - c. 4,550 SF of Surface Coat Basketball Court and court paint was damaged by flood waters.
  3. Landscaping:
    - a. 3,626 CY of existing topsoil was damaged with landfill waste due to flood waters
    - b. 197,787 SF of existing sod was damaged with landfill debris from flood waters
    - c. 1,725 LF 6' Galvanized Chain Link Fence was damaged by debris in the flood waters
  4. Drainage Systems:
    - a. 1,500 LF 4" HDPE Corrugated Drain Pipe is filled with sediment
    - d. 2 EA Replace the sediment latent Pea Gravel in Storm Structures (Approximately 1 CY EA)
- C. Baseball Field Facility - Please see Scope Note #10**
1. Earthwork and Grading:
    - a. 2,424 CY Sediment and Debris was deposited on Baseball Fields (2" depth over 385,062 SF)
    - b. 7,131 CY - Existing Topsoil was contaminated by landfill debris in the sodded areas (6" depth over 385,062 SF)
    - c. 1,426 CY - Warning Track Mix and Infield Mix on all 4 EA baseball fields was contaminated by landfill debris (4" depth over 113,256 SF)
  2. Park Amentities
    - a. 8 EA 21' Dugout Bench w/Back Support Pressure are in need of pressure washing to remove debris
    - b. 1 EA Park Bench was damaged by debris in flood waters
    - c. 4 EA Trash Recepticles were lost to flood waters
    - d. 3 EA 24' - 3 Row Aluminum Bleachers were damaged by debris in flood waters
    - e. 1 EA Prefabricated Storage Shed (16 LF x 16 LF) was damaged by debris in flood waters
    - f. 0 EA Misc. Contents of Building - This is covered by PW #EVANS13 - Field Maintenance Equipment
    - g. 0 EA Infield Equipment Set - This is covered by PW #EVANS13 - Field Maintenance Equipment
  3. Fencing Systems
    - a. 4 EA 24' High x 60' Long Vinyl Coated Backstop System are in need of pressure washing to remove debris
    - b. 240 LF Back Stop Fencing and Replace 60 x 10 Chain Link was damaged by debris in flood waters
    - c. 800 LF 6' Galvanized Coated Chain Link Foul Side Fencing Fence was damaged by debris in flood waters
    - d. 2,000 LF 6' Vinyl Coated Chain Link Outfield Fencing Fence was damaged by debris in flood waters
    - e. 1,940 LF 6' Galvanized Coated Chain Link Perimeter Fence was damaged by debris in flood waters
    - f. 2,000 LF Fence Top Cap was damaged by debris in flood waters
    - g. 2 EA Standing Seam Roof for Dugout (Remove and Replace) 2 of 8 were damaged
    - h. 8 EA Man Gates were damaged by debris in flood waters
    - i. 8 EA Maintenance Gate were damaged by debris in flood waters
    - j. 2,800 LF 5" Concrete Mow Band Fence was damaged when flood waters pushed over fences (Approximately 43 CY)
  4. Landscaping:
    - a. 42 EA Canopy trees were damaged by flood waters, are not eligible per FEMA 9524.5
    - b. 7,131 CY of Import needed for replacement of playing fields
    - c. 271,806 SF Sports field sod was contaminated by landfill debris
    - d. 85,271 SF Infield Mix was lost or damaged by flood waters and will need to be replaced
    - e. 27,985 SF Warning Track was lost or damaged by flood waters and will need to be replaced
  5. Drainage Systems
    - a. 24 EA 36" diameter x 4.0 VF Dry Well w/Pea Gravel were filled with sediment
    - b. 210 LF 4" Corrogated HDPE Drain Pipe was filled with sediment
    - c. 16 EA Flood Test Tree Well System because there is reasonable cause for damage due to being submerged by flood waters for an extended period
    - d. Undetermined damage at 16 EA Tree Wells

**D. Lake Area - Recreation**

1. Building Cleaning for Flood Damage (All three buildings Concrete Masonary Units (CMU)
  - a. Pump Station (18' x 14') was inundated by flood waters
  - b. Bathroom Facility (46' x 32') was inundated by flood waters
  - c. Maintenance Building (42' x 30') was inundated by flood waters
2. Park Buildings and Structures
  - a. Existing Picnic Pavillion was inundated by flood waters
  - b. Picnic Pavillion Restroom Plumbing was inundated by flood waters and was damaged
  - c. Pump Station - Painting and General Repair needed due to being flooded
  - d. Bathroom Facility - Painting and General Repair needed due to being flooded
  - e. Maintenance Building - Painting and General Repair needed due to being flooded
  - f. 1 EA Informational Kiosks was damaged by flood waters(see attached picture).
  - g. Trail Canopy -12' wide 18 ga Galv Corr Metal Roof (90 Lin Ft. on West side of RR Xing) - Remove and Replace because it was damaged by debris in flood waters
  - h. 1,521 LF Perimeter Fencing - 6' Galv. Chain Link that was damaged by debris in flood waters
3. Signage and Building Amenities
  - a. 10 EA Street and Parking signs that were damaged by debris in flood waters
  - b. 2 EA Vinyl Coated Picnic Tables/Benches that were damaged by debris in flood waters
  - c. 1 EA BBQ Grill Undamaged
  - d. 1 EA Trash Recepticle that was damaged by debris in flood waters

**E. Lake Area - Civil**

1. Riverside Lake
  - a. 370 CY Ex. Earthen materials were scoured around Pump House 100 LF x 50 LF Width x 2.0 VF Only
2. Removals
  - a. 3,889 CY Woody Debris(Lake Shoreline)(1,400 LF x 25 LF x 3.0 VF Avg.) was deposited by flood waters
3. Irrigation System
  - a. 1 EA Pump Equipment/Controls were damaged by flood waters
  - b. 1 EA Electric System for Pump/Controls were damaged by flood waters

**F. Parking and Road System - Please see Scope Note #10**

1. Parking Lot #01
  - a. 702 CY of Sediment was deposited by flood waters in the contaminated Gravel Parking Lot #01 (.83333 VF (10") x 130 LF x 175 LF = 18,958 CF/27 = )sediment and ex. gravel parking will be removed
2. Parking Lot #02 - Ex. Asphalt was undamaged by flood waters, but 310 CY (22 LF X 190 LF x 2.0 VF/27) debris was deposited by flood waters
3. Parking Lot #03 - Ex. Asphalt was undamaged by flood waters, but 1,444 CY (325 LF x 60 LF x 2.0 VF/27) debris was deposited by flood waters
4. Parking Lot #04 - Ex. Asphalt was undamaged by flood waters, but 111 CY (75 LF x 20 LF x 2.0 VF/27) debris was deposited by flood waters
5. Parking Lot #05 - Ex. Asphalt was undamaged by flood waters, but 622 CY (140 LF x 60 LF x 2.0 VF/27) debris was deposited by flood waters
  - a. 3,981 CY Sediment was deposited on Lots #2, #03, #04 and #05 and Riverside Pwy. areas #4 & #5
6. Parking Lot #06 - Ex. Asphalt was undamaged by flood waters, but 319 CY (430 LF x 40 LF x .50(6") VF/27) debris was deposited by flood waters
7. Parking Lot #07 - Ex. Asphalt was undamaged by flood waters, but 333 CY (300 LF x 60 LF x .50(6")VF/27) debris was deposited by flood waters
8. Parking Lot #8 - Ex. Asphalt was undamaged by flood waters, but 478 CY (430 LF x 60 LF x .50(6")VF/27) that was deposited by flood waters
9. Parking Lot #9 - No Damage
10. Riverside Pkwy. #01 Asphalt-One Way East Bound (18 LF x 775 LF) No Damage to Asphalt, but 192 CY of Debris to be removed
11. Riverside Pkwy. #02
  - a. 110 CY Ex. Asphalt One-Way West Bound was damaged by flood waters
  - b. 1,500 LF Ex. Curb and Gutter that was damaged by flood waters
12. Riverside Pkwy. #03 - Two Way (28 LF x 380 LF)
  - a. Concrete Crosswalk (28 LF x 34 LF) - No Damage
  - b. 130 CY Northside Ex. Asphalt (380 LF x 28 LF x .33(4")VF/27) was damaged by flood waters
  - c. 760 LF Ex. Curb & Gutter (380 LF x 2 LF) was damaged by flood waters
  - d. 3,466 CY of Ex. Fill was eroded by flood waters
13. Riverside Pkwy. #04
  - a. 1 LS Concrete Crosswalk (18 LF x 34 LF) - No Damage
  - b. Sediment - Included in Parking Lot #5 Sediment Removal Quantity (18 LF x 545 LF x 2.0 VF/27 = 727 CY)
14. Riverside Pkwy. #05
  - a. 1 LS Concrete Crosswalk (18 LF x 25 LF) - No Damage
  - b. 1 LS Concrete Crosswalk (18 LF x 28 LF) - No Damage
  - c. Sediment - Included in Parking Lot #5 Sediment Removal Quantity (18 LF X 575 LF x 2.0 VF = 767 CY)
15. Riverside Pkwy. #06 Asphalt 2 Way (28 LF x 1,600 LF)
  - a. 1 LS Concrete Crosswalk (28 LF x 34 LF) - No Damage
  - b. 1 LS Concrete Crosswalk (24 LF x 30 LF) - No Damage
  - c. 926 CY Sediment (250 LF x 100 LF x 1.0 VF) was deposited by flood waters
16. Total Parking Area Disposal of Materials
  - a. Total Parking Area Debris/Silt Removal - Hauling
  - b. Total Parking Area Debris/Silt Removal - Tip Fees
  - c. Damaged Asphalt Hauling - This material to be Recycled at an approved facility with no Tip Fees
  - d. Damaged Concrete Hauling - This material to be Recycled at an approved facility with no Tip Fees

G. Green Area Topsoil - Please see Scope Note #10

1. Green Areas - These areas are full of glass shards, medical waste, etc.
  - a. 13,474 SY of Green Space were contaminated by Land Fill Waste within the Drip Line of ex. Trees
  - b. 92,140 SY Green Area was contaminated by Landfill Waste that can be removed by machine.
  - c.
  - d.
  - e. 5,221 CY Import and Place Topsoil that will be lost during scraping operations
- f. 92,140 SY Reseed @ Not Eligible per FEMA DR9524.5110,743 SY Reseed @ Not Eligible per FEMA DR9524.5

H. Irrigation System - (Piping Only - distribution Pumping System & Building Covered in other areas) see Irrigation Quote for further breakdown of Materials

1. 1 LS Main Line, Fittings, Wiring and ABD Sleeving System - were inundated with flood waters and damaged
2. 1 LS Gate Valves were inundated with flood waters and damaged
3. 1 LS Quick Coupler Valves were inundated with flood waters and damaged
4. 1 LS Manual Drain Valves were inundated with flood waters and damaged
5. 1 LS 1" Electric Control Valves were inundated with flood waters and damaged
6. 1 LS 1 1/2" Electric Control Valves were inundated with flood waters and damaged
7. 1 LS 2" Electric Control Valves were inundated with flood waters and damaged
8. 1 LS CL200 PVC Lateral, Fittings and Sleeving were inundated with flood waters and damaged
9. 1 LS Rainbird 8005 Rotor Sprinkler Heads (245 EA Complete) were inundated with flood waters and damaged
10. 1 LS Rainbird 5505 Rotor Sprinkler Heads (45 EA Complete) were inundated with flood waters and damaged
11. 1 LS Rainbird 1804 Pop-Up Sprinkler Heads (233 EA Complete) were inundated with flood waters and damaged
12. 1 LS Rainbird 1804 Pop-Up for Tree Location Sprinkler Heads (48 EA Complete) were inundated with flood waters and damaged
13. 1 EA Constellation 24 Controller were inundated with flood waters and damaged
14. 1 EA Constellation 48 Controller were inundated with flood waters and damaged
15. 2 EA SATS Spread Spectrum Network Radio w/antenna were inundated with flood waters and damaged

I. Electrical System

1. 16,000 LF buried conduit/electric line was damaged by flood waters
2. 1 EA R and R Musco control panel in maintenance building was damaged by flood waters
3. 3 EA existing pedestals were damaged by flood waters
4. 35 EA remove old parking lot/basketball court/pathway light poles that were damaged by flood waters
5. Not in DDD
6. Not in DDD
7. Not in DDD
8. 2 EA Hand Dryers in Restroom that were damaged by flood waters
9. 10 EA electrical receptacles were damaged due to flood waters that were damaged by flood waters
10. 1 LS Pull wire/replace light and GFIs in the pavillion that were damaged by flood waters
11. 1 LS New outlets/light switches/heaters/fixtures in Maintenance Building that were damaged by flood waters
12. 1 LS Remove old outlets/light switches/heaters/fixtures in Maintenance Building that were damaged by flood waters
13. 1 LS Pipe/wires/fittings/boxes in restrooms and maintenance Building that were damaged by flood waters
14. 1 LS install new panel /disconnects/gear in the Pump House that was damaged by flood waters
15. 1 LS Demo pumphouse/conduit/wire/gear/boxes that were damaged by flood waters
16. 580 LF electric service in Maintenance/restroom Bldg. - 3 1/2" conduit SCH 80 that were damaged by flood waters
17. 360 LF electrical service to pumphouse 2" sch. 40 PVC that were damaged by flood waters
18. 2,400 LF #500 THHN electrical service in maintenance/restroom Bldg. that was damaged by flood waters
19. 600 LF 1/0 THHN cu. electrical service in maintenance/restroom Bldg. that was damaged by flood waters
20. 1,500 LF Electrical service pump station building 4/0 THHN cu. that was damaged by flood waters
21. 1 EA Electrical service terminate wire/transformer/CT can/meter socket that was damaged by flood waters
22. 1,700 LF R and R 1 1/2" sch. 40 PVC Conduit/Musco light poles/GFIs that was damaged by flood waters
23. 18 EA Replace 17" x 30" x 24" Vault Boxes w/lids that were damaged by flood waters
24. 10 EA New Terminate Musco Poles that were damaged by flood waters
25. Not in DDD
26. 18 EA Terminate vault box wiring that were damaged by flood waters
27. 13,000 LF 1" Conduit sch. 40 PVC for basketball courts, dugouts, parking lot/pathway lights/soccer fields that were damaged by flood waters
28. 52,000 LF Pull wire #8 THHN for basketball courts, dugouts, parking lot/pathway lights/soccer fields that were damaged by flood waters
29. 35 EA Terminate #8 THHN for basketball courts, dugouts, parking lot/pathway lights/soccer fields that were damaged by flood waters
30. 1 EA Install new panels/disconnects/gear in the Maintenance Building that were damaged by flood waters
31. 1 EA Miscellaneous Fittings that were damaged by flood waters
32. Not in DDD

J. Buildings and Shelters - included in Section D.

The GPS coordinates for the Childrens Play Area at the Riverside Park Facility in City of Evans, CO. 80620 (40.37365, -104.68260). Location: T-05-N R-66-W Section 29.

The GPS coordinates for the Basketball Courts at the Riverside Park Facility in City of Evans, CO. 80620 (40.37267, -104.68162). Location: T-05-N R-66-W Section 29.

The GPS coordinates for the Soccer Fields at the Riverside Park Facility in City of Evans, CO. 80620 (40.37364, -104.68174). Location: T-05-N R-66-W Section 29.

The GPS coordinates for the Baseball Fields at the Riverside Park Facility in City of Evans, CO. 80620 (40.37195, -104.68364). Location: T-05-N R-66-W Section 29.

The GPS coordinates for the Lake Area at the Riverside Park Facility in City of Evans, CO. 80620 (40.36912, -104.68842). Location: T-05-N R-66-W Section 29.

The GPS coordinates for the Parking Area at the Riverside Park Facility in City of Evans, CO. 80620 (40.37003, -104.68555). Location: T-05-N R-66-W Section 29.

#### SCOPE OF WORK:

##### Current Version:

The applicant used consultants to estimate the cost to repair the damages to all the facilities at Riverside Park and will use contractors that the applicant will select through their normal procurement procedure to repair the facility. The City of Evans would like to reserve the right to upgrade any of the damaged items that are included in this project worksheet at the City of Evans' expense. In addition applicant may choose to replace or upgrade many portions of this facility based on FEMA's base line estimate to replace elements in kind. This also includes non-damaged facilities or element. The applicant will be responsible to report any Change in the Scope of this Project Worksheet to the appropriate authorities to avoid jeopardizing Federal Funding for the Riverside Park Facility in the City of Evans.

##### WORK TO BE COMPLETED

The scope of work includes all elements necessary to restore the damaged park facilities at Riverside Park in the City of Evans. The applicant will utilize contractors for an estimated total cost of \$4,373,435.64 that includes mobilization and reestablishment of the damaged facilities. The CEF format added \$1,231,947.36 to the estimated amount for a project total of \$5,605,383.00, please see attached. Descriptions of the work to be done at each facility of the Riverside Park is as follows.

##### SCOPE NOTES:

1. The rain amounts from the declared event caused flooding of South Platte River. Riverside Park, in the City of Evans, was flooded. The flood waters scoured an existing berm that had been placed between the South Platte River and Riverside Park. The existing berm was breached at the Southern most point of the existing lake, which allowed flood waters to inundate a large area at the existing Riverside park. The topography of the existing ground at the North West side of the existing lake allowed the flood waters to scour the park side of the existing berm, exposing an existing landfill site. Shards of broken glass, medical waste, and junked car parts were distributed through the down stream areas of the park (see the attached map Riverside Park Scraping Areas). The existing bank area around the irrigation pump house was also scoured and more landfill waste was exposed, sending it throughout the down stream areas. The Environmental Protection Agency (EPA) has determined the existing landfill materials to be normal trash and car parts from the 1960s to 1970s. These eroded landfill areas were the source of the glass shards, medical waste and other items that have been distributed throughout the park. The City of Evans has produced a color coded map of all the affected down stream portions of the existing park that were inundated with flood waters and landfill debris. Shown in RED on the map, the sport fields (13.38 Acres) will be stripped 8" (2" Avg. Depth of debris and 6" Topsoil and Turf). The other highly used areas around the playing fields (shown in YELLOW) on the map will have 4" stripped by mechanical equipment (9.52 Acres, 2" Avg. depth of land fill debris and 2" of Topsoil). Within in the drip lines (shown in BLUE) of the existing trees that are at the park the average depth of 2" of landfill waste will be removed by hand raking (2.78 Acres). The final area of the park that was affected by the landfill waste (shown in PURPLE) will have the debris mechanically removed. An average depth of 2" of landfill waste will be removed in this area, (9.51 acres). It was originally hoped that this area could be restored by using a Vac Truck to vacuum the area of landfill debris, but no responsible bidders could be contacted.
2. The areas that are to be stripped of landfill waste and affected topsoil have been provided by Jacob Frier of the City of Evans. Jake is a GIS specialist and has provided the acreage of the four differently treated areas. Jacob's credentials are attached and the provided areas, using his mapping software, are within an accuracy of 1%.
3. The initial estimate that the applicant has produced has many items that will be omitted from the engineers estimate and will be addressed in the FEMA CEF, such as General Conditions, Insurance/Bonding and overhead and profit. Also the engineer's estimate includes many items that were observed to be undamaged. Please see the Attached FEMA Project Estimate of in kind repairs to this facility. A determination from the FEMA JFO will be made on a line by line basis on the eligibility of any upgraded replacements.
4. The applicant's initial estimate also showed replacement of shade trees and other landscaping items. The only landscaping item that has been included in the Project Specialists estimate is new sod for playing fields per FEMA Recovery Policy RP9524.5 dated September 4, 2013, which is attached.
5. All quantities and material pricing has been validated through site visits and comparisons with RS Means, CDOT 2013 Cost Data or checked online with supplier list costs. The tipping fees included in this project worksheet are based on information obtained from Waste Management at \$17.50 per ton. At 1.4 tons per cubic yard equals \$24.50 per CY. A rate of \$25.00 per cubic yard has been used in this project worksheet, based on this information. All landfill debris and earthen materials contaminated with landfill debris to be to a Certified Landfill.
6. In the Green Areas applicants consultant has figured stripping 6" of Topsoil and an average of 2" of Debris, then replacing with 6" of clean Topsoil except within the drip lines of the existing trees at the site. This area has been figured to be hand raked by and the applicants estimate has been utilized.
7. Applicant may be required to provide salvage value of any item that has been included in this project worksheet. Salvage Value will be subtracted from the amount that is eligible for Federal Funding.
8. The applicants Play Ground Equipment supplier has stated that to re-certify the existing inundated play ground equipment it must be taken apart, cleaned inside and out and reassembled. This price does not include repairing any hidden damage. For \$800.00 more the supplier could replace the equipment with new. Hence this PW includes the cost for new equipment.
9. The Electrical contractor cannot certify the buried electrical lines or conduits without replacing them entirely and the power company will not energize previously flooded lines.
10. Many of the measurements provided by the applicant's consultants were generated with computer programs such as autocad or mapping software. The mapping software used to generate the areas that have been included in this PW have an accuracy of 99%. For this reason no exact dimensions are available for most of the items in this project worksheet. The FEMA project specialist has verified the size of a regulation soccer field and minimum size of a youth baseball field. The maximum size for a regulation soccer field is 86,600 SF. The soccer field size was multiplied by two, for two fields(86,600 SF/EA x 2 EA = 173,200 SF), and that number fell within an acceptable range with the applicants estimate (173,200 SF divided by applicant provided quantity of 198,500 SF = within 12.75%). Similarly, the infield was measured baseball field was calculated (24,000 SF/EA of Skinned Infield, 5,102.5 SF/EA of 10' Warning Track and 75,021.5 SF/EA of Grassed Outfield), then multiplied by four fields (24,000 SF/EA x 4 EA = 96,000 SF of Skinned Infield, 5,102.5 SF/EA x 4 EA = 20,410 SF of

Warning Track, and 75,021.5 SF/EA x 4 EA = 300,086 SF of Grassed Outfield) and again, these numbers fell within an acceptable range with the applicants estimate. Please see Soccer Field and Baseball field information sheets.

11. A 406 Mitigation proposal for raising some of the electrical components that were affected by the flood waters of the the declared event has been included in this project worksheet. As more proposals are received by the applicant to repair different aspects of the damaged facilities, additional 406 mitigation opportunities will be explored and could be added to this project worksheet.

12. The City of Evans is responsible for the seeding and mulching of all disturbed park areas that have not been designated as playing fields. These playing fields include the Baseball Fields and the Multi-Use Field only and will be sodded with sports mix turf.

#### A. The Play Ground Area -

##### 1. Earthwork and Grading:

- a. 20 CY Removal of Sediment and Debris on Concrete @ \$16.00 = \$320.00
- a. 20 CY Hauling and Disposal of Sediment - @ \$15.00 = \$300.00
- a. 20 CY Landfill Tipping Fees @ \$25.00 = \$500.00
- b. 51 CY Remove 8" Play Sand @ \$16.00 = \$816.00
- b. 51 CY Haul Play existing sand @ \$15.00 = \$765.00
- b. 51 CY Land fill Tipping Fees for Sand @ \$25.00 = \$1,275.00
- c. 810 LF Clean and Restore steel coping along Seat walls @ \$4.85 = \$3,928.50
- c. 810 LF Clean Concrete Seats @ \$2.25 = \$1,822.50

##### 2. Playground:

- a. 900 LF R & R 6" Multi-Flow Drain Pipe @ \$2.27 = \$2,043.00
- b. 7,250 SF R & R Filter Fabric @ \$0.20 = \$1,450.00
- c. 7,250 SF R & R Engineered Fiber Playground Surface @ \$2.90 = \$21,025.00
- d. 1 EA Replace Entire Play Equipment @ \$69,412.00 = \$69,412.00 (refer to Scope Note #7)

##### 3. Play Area Site Amenities:

- a. 4 EA Picnic Tables/Benches - Vinyl Coated @ \$750.00 = \$3,000.00
- b. 1 EA R & R Stabilized Out Door Grill @ Undamaged
- c. 1 EA Trash Recepticle @ \$750.00 = \$750.00
- d. 5 EA Demolition and Removal of Site Amenities @ \$75.00 = \$375.00

##### 4. Landscaping:

- a. 0 EA Ornamental Tree @ \$350.00 = \$0.00
- b. 150 LF 4' 2 Rail Split Rail Fencing @ \$15.00 = \$2,250.00
- c. 2,090 SF Replace 8" Depth Play Sand @ \$0.95 = \$1,985.50

#### B. Soccer/Basketball Areas

##### 1. Earthwork and Grading:

- a. 2,000 CY Removal of Sediment and Debris on Concrete @ \$16.00 = \$32,000.00
- a. 2,000 CY Hauling and Disposal of Sediment - @ 15.00 = 30,000.00
- a. 2,000 CY Landfill Tipping Fees @ 25.00 = 50,000.00
- b. 4,835 CY - Removal of Multi Use Field area at 8" Depth @ \$16.00 = \$77,360.00
- b. 4,835 CY - Hauling and Disposal of Multi Use Field Area at 8" Depth @ \$15.00 = \$72,525.00
- b. 4,835 CY - Landfill Tipping Fees - @ \$25.00 = \$120,875.00
- c. 197,787 SF - Rough Grade and Compaction @ \$0.07 = \$13,845.09
- c. 197,787 SF - Soil Amendments and Preparation @ \$0.07 = \$13,845.09
- c. 197,787 SF - Fine Grading @ \$0.10 = \$19,778.70
- d. 4,150 SF Remove and Replace Ex. 5" Flatwork Concrete @ \$8.00 = \$33,200.00

##### 2. Park Amenities:

- a. 3 EA R and R Basketball Hoop Standards @ \$750.00 = \$2,250.00
- b. 0 EA R & R Park Benches @ \$825.00 = \$0.00
- c. 4,550 SF Surface Coat Basketball Court - @ \$3.00 = \$13,650.00
- c. 2 EA Paint Court Lines - @ \$2,400.00 = \$4,800.00

##### 3. Landscaping:

- a. 3,626 CY Import and Place 8" Topsoil @ \$13.88 = \$50,328.88
- b. 197,787 SF Sports Turf Blend Sod @ \$0.75 = \$148,340.25
- c. 1,725 LF 6' Galvanized Chain Link Fence - @ \$30.00 = \$51,750.00
- d. 1,725 LF Demolition & Removal of Ex. 6' Chain Link Fencing @ \$9.50 = \$16,387.50

##### 4. Drainage Systems:

- a. 1,500 LF 4" HDPE Corrugated Drain Pipe - R & R or Clean??? @ \$11.50 = \$17,250.00
- b. 4 EA 12" x 12" Catch Basin Steel Grate @ Undamaged
- c. 4 EA 8" PVC Tie In Pipe @ Undamaged
- d. 2 EA 36" diameter x 4.0 VF Dry Well w/Pea Gravel @ \$100.00 = \$200.00

#### C. Baseball Field Facility

##### 1. Earthwork and Grading:

- a. 2,424 CY Removal of Sediment and Debris on Fields @ \$16.00 = \$38,784.00
- a. 2,424 CY Hauling and Disposal of Sediment from Fields @ \$15.00 = \$36,360.00
- a. 2,424 CY Landfill Tip Fee @ \$25.00 = 60,600.00
- b. 7,131 CY - Remove Sediment and Debris on Outfields @ \$16.00 = \$114,096.00
- b. 7,131 CY - Hauling and Disposal of Sediment from Outfields @ \$15.00 = \$106,965.00
- b. 7,131 CY - Landfill Tip Fee @ \$25.00 = \$178,275.00
- c. 1,426 CY - Removal of Infield and Warning Track Area SubBase Materials at 4" Depth @ \$16.00 = 22,816.00
- c. 1,426 CY - Hauling and Disposal of Sediment from Infield and Warning Track @ \$15.00 = \$21,390.00
- c. 1,426 CY - Tipping Fees @ \$25.00 = \$35,650.00
- a,b & c. 385,062 SF Rough Grade and Compaction (Infields, Outfields and Warning Track) @.07 = \$26,954.34
- b. 271,806 SF Soil Amendments and Preperation (Turf areas Only) @ \$0.07 = \$19,026.42
- a,b & c. 385,062 SF Fine Grading (Infields, Outfields and Warning Track) @ \$0.10 = \$38,506.20

## 2. Park Amenities

- a. 8 EA Power Wash Only 21' Dugout Bench w/back @ \$50.00 = \$400.00
- b. 1 EA Park Bench @ \$1,250.00 = \$1,250.00
- c. 4 EA Trash Receptacles @ 750.00 = \$3,000.00
- d. 3 EA24' - 3 Row Aluminum Bleachers @ \$2,100.00 = \$6,300.00
- e. 1 EA Replace Pre-Fabricated Storage Shed @ \$10,000.00 = \$10,000.00
- f. 0 EA Misc. Contents of Building @ Included in PW #EVANS13
- g. 0 EA Infield Equipment Set @ Included in PW #EVANS13
- h. 9 EA Demolition and Removal of Site Amenities @ 75.00 = 675.00

## 3. Fencing Systems

- a. 4 EA Clean and Repair Backstop System @ \$2,550.00 = 10,200.00
- b. 240 LF Backstop Fencing - R & R 60' x 10' @ \$25.00 = \$6,000.00
- c. 800 LF Foulside Fencing - 6' Galvanized Coated Chainlink @ \$30.00 = \$24,000.00
- d. 2,000 LF Outfield Fencing - 6' Vinyl Coated Chainlink @ \$38.00 = \$76,000.00
- e. 1,940 LF Perimeter Fencing - 6' Galvanized Chainlink @ \$38.00 = \$73,720.00
- f. 2,000 LF Fence Top Cap @ \$2.00 = 4,000.00
- g. 2 EA Standing Seam Roof for Dugout (R and R) - PS observed that 2 EA of the 8 EA were damaged @ \$5,500.00 = \$11,000.00
- h. 8 EA Man Gates @ \$950.00 = \$7,600.00
- i. 8 EA Maintenance Gates @ \$1,600.00 = \$12,800.00
- j. 2,800 LF Remove and Replace 5" Thick Concrete Mow Band along Fence @ \$8.00 = \$22,400.00
- k. 4,740 LF Demo. and Removal of damaged Fences @ \$9.50 = \$45,030.00

## 4. Landscaping:

- a. 42 EA R & R Canopy Tree - @ \$0.00 = \$0.00
- b. 7,131 CY Import and Place 8" Topsoil @ \$13.88 = \$98,978.28
- c. 271,806 SF Sports Turf Blend Sod @ \$.35 = \$95,132.10
- d. 85,271 SF Replace Stabilized Infield Mix at 4" Depth @ \$1.73 = \$147,518.83
- e. 27,985 SF Replace Warning track Mix at 4" Depth @ \$1.99 = \$55,690.15

## 5. Drainage Systems

- a. 24 EA 36" diameter x 4.0 VF Dry Well w/Pea Gravel @ \$100.00 = \$2,400.00
- b. 210 LF R & R 4" Corrogated HDPE Drain Pipe @ \$15.00 = \$3,150.00
- c. 16 EA Flood Test Tree Well System - TESTING @ \$250.00 = \$4,000.00
- d. 16 EA Repair Tree Well if it fails - @ \$425.00 = \$6,800.00

## D. Lake Area - Recreation

### 1. Building Cleaning for Flood Damage

- a. 1 EA Pump Station - pressure wash and mold treatment, and replace insulation @ \$1,620.00 = \$1,620.00
- b. 1 EA Bathroom Facility - pressure wash and mold treatment @ \$1,950.00 = \$1,950.00
- c. 1 EA Maintenance Building - pressure wash and mold treatment @ \$3,690.00 = \$3,690.00

### 2. Park Buildings and Structures

- a. 1 EA Picnic Pavillion - Clean Up and Repair @ \$2,300.00 = \$2,300.00
- b. 1 LS Picnic Pavillion Restroom Plumbing repair @ \$8,750.00 = \$8,750.00
- c. 1 EA Pump Station - Painting and General Repair @ \$1,250.00 = \$1,250.00
- d. 1 EA Bathroom Facility - Painting and General Repair @ \$2,100.00 = \$2,100.00
- e. 1 EA Maintenance Building - Painting and General Repair @ \$4,500.00 = \$4,500.00
- f. 1 EA Remove and Replace Informational Kiosks @ \$2,000.00 = \$2,000.00
- g. 90 Lin Ft. Trail Canopy -12' wide 18 ga Galv Corr Metal Roof - Remove and Replace @ \$64.35 = \$5,791.50
- h. 1,521 LF Replace Perimeter Fencing - 6" Galv. Chain Link @ \$30.00 = \$45,630.00
- i. 1,521 LF Demo. and Remove Fence System @ \$9.50 = 14,449.50

### 3. Signage and Building Amenities

- a. 10 EA Street and Parking signs @ \$350.00 = \$3,500.00
- b. 2 EA Vinyl Coated Picnic Tables/Benches @ \$750.00 = \$1,500.00
- c. 1 EA BBQ Grill Undamaged @ \$0.00 = \$0.00
- d. 1 EA Trash Recepticle @ \$750.00 = \$750.00

## E. Lake Area - Civil

### 1. Riverside Lake

- a. 370 CY Replace Scoured Area around Pump House (100 LF x 50 LF Width x 2.0 VF Only) @ 7.86 = \$2,907.79

### 2. Removals

- a. 3,889 CY Woody Debris(Lake Shoreline)(1,400 LF x 25 LF x 3.0 VF Avg.) @ \$16.00 = \$62,224.00

### b. Reduce Woody Debris for Reuse (Chipping)

- i. 320 HR Hand Labor (3 EA 4 Man Crew x 10 EA Crew Days/8 HR Days/ @ \$10.00/hour per worker) @ \$960.00 = \$9,600.00
- ii. 583 CY Hauling (Used 15% of 3,889 CY) @ \$13.60 = \$7,928.80

### 3. Irrigation System

- a. 1 LS Pump Equipment/Controls (Proposal) @ \$139,209.40 = \$139,209.40
- b. 1 LS Electric for Pump/Controls @ \$40,000.00 = \$40,000.00

## F. Parking and Road System

### 1. Parking Lot #01

a. 702 CY Remove Sediment from Gravel Parking Lot #01 (.83333 VF (10") x 130 LF x 175 LF = 18,958 CF/27 CF/CY = ) @ \$16.00 = \$11,232.00

- a. 702 CY Gravel Fill (10") @ \$37.53 = \$26,346.06

- a. 2,528 SY Compaction (130 LF x 175 LF = 22,750 SF/9 SF/SY) @ \$.31 = \$783.68

### 2. Parking Lot #02

- a. No Damage to ex. Asphalt, but 310 CY Debris to be Removed @ Included in Lot #5 Sediment Removal

- 3. 181 CY Lot #03 - Remove Ex. Sediment on Asphalt (325 LF x 60 LF x .20 VF/27) @ Included in Lot #5 Sediment Removal

4. 75 CY Lot #04 - Remove Ex. Sediment on Asphalt (75 LF x 20 LF x 2.0 VF/27) @ Included in Lot #5 Sediment Removal
  5. 78 CY Lot #05 - Remove Ex. Sediment on Asphalt (140 LF x 60 LF x 2.0 VF/27) @ Included in Lot #5 Sediment Removal
    - a. 3,981 CY Remove Sediment (Parking Lots #02, #03, #04, #05 and Riverside Pky. #04, #05) @ \$16.00 = \$63,696.00
  6. Parking Lot #06
    - a. Ex. Asphalt (400 LF x 20 LF x .25(3")VF/27) - No Damage
      - i. 319 CY Remove Sediment from Lot #06 (430 LF x 40 LF x .5(6") VF/27) @ \$16.00 = \$5,104.000
  7. Parking Lot #07
    - a. 333 CY R and R Ex. Asphalt @ Included Lot #8 Sediment Removal
  8. Parking Lot #8
    - a. 478 CY Remove Existing Sediment @ \$16.00 = \$12,976.00
  9. Parking Lot #9
    - a. No Damage
  10. Riverside Pkwy. #01 Asphalt-One Way East Bound - No Damage
    - a. 192 CY Remove Existing Sediment (575 LF x 18 LF x .50(6")VF/27) @ \$16.00 = \$3,066.67
  11. Riverside Pkwy. #02
    - a. 110 CY Remove Ex. Asphalt One-Way West Bound (750 LF x 12LF) @ \$48.94 = \$5,383.13
    - b. 1,500 LF Remove Ex. Curb and Gutter @ \$4.40 = \$6,597.15
      - a. 110 CY Install Asphalt (750 LF x 12 LF x .33(4")VF/27) @ \$140.29 = \$15,431.78
      - b. 1,500 LF Install Curb and Gutter (750 LF x 2 EA(both sides of road)) @ \$14.66 = \$21,985.35
  12. Riverside Pkwy. #03 - Two Way (28 LF x 380 LF)
    - a. Concrete Crosswalk (28 LF x 34 LF) - No Damage
    - b. 130 CY Remove Northside Ex. Asphalt (380 LF x 28 LF x .33(4")VF/27) @ \$48.94 = \$6,362.20
    - c. 760 LF Ex. Curb & Gutter to be Removed (380 LF x 2 LF) @ \$4.40 = \$3,342.56
    - d. 3,466 CY Place & Compact Embankment Fill - @ \$7.86 = \$27,242.76
    - e. 760 LF Install Curb & Gutter @ \$14.66 = \$11,141.60
      - b. 130 CY Install asphalt Pavement at 4" (380 LF x 28 LF x .33(4")VF/27) @ \$140.29 = \$18,237.56
  13. Riverside Pkwy. #04 (Asphalt Included in Parking Lot #04 & #05 Above)
    - a. 1 LS Concrete Crosswalk (18 LF x 34 LF) - No Damage
    - b. Sediment Removal - Included in Parking Lot #5
  14. Riverside Pkwy. #05 (Asphalt Included in Parking Lot #04 & #05 Above)
    - a. 1 LS Concrete Crosswalk (18 LF x 25 LF) - No Damage
    - b. 1 LS Concrete Crosswalk (18 LF x 28 LF) - No Damage
    - c. Sediment Removal - Included in Parking Lot #5
  15. Riverside Pkwy. #06 Asphalt 2 Way (28 LF x 1,600 LF)
    - a. 1 LS Concrete Crosswalk (28 LF x 34 LF) - No Damage
    - b. 1 LS Concrete Crosswalk (24 LF x 30 LF) - No Damage
    - c. 926 CY Sediment Removal (250 LF x 100 LF x 1.0 VF) @ \$16.00 = \$14,816.00
  16. Total Parking Area Disposal of Materials
    - a. 6,931 CY Total Parking Area Debris/Silt Removal - Hauling @ \$15.00 = \$103,965.00
    - b. 6,931 CY Total Parking Area Debris/Silt Removal - Tip Fees @ \$25.00 = 173,275.00
    - c. 240 CY Damaged Asphalt Removal @ \$17.50 = \$4,200.00
    - d. 84 CY Damaged Concrete C & G Removal @ \$17.50 = \$1,470.00
- G. Green Area Topsoil Replacement
1. Green Areas - These areas are full of glass shards, medical waste, etc.
    - a. 13,474 SY Handwork @ \$2.42 = 32,607.08
    - b. 10,135 CY Mechanical Scraping @ \$16.00 = \$162,166.40
    - c. 10,135 CY Hauling To Disposal @ \$15.00 = \$152,025.00
    - d. 10,135 CY Landfill Tip Fee @ \$25.00 = \$253,375.00
    - e. 5,221 CY Import and Place Topsoil @ \$10.41 = \$54,370.62
    - f. 92,140 SY Reseed @ Not Eligible per FEMA DR9524.5
- H. Irrigation System - (Piping Only - distribution Pumping System & Building Covered in other areas) see Irrigation Quote for further breakdown of Materials
1. 1 LS Main Line, Fittings, Wiring and ABD Sleeving System - @ \$26,708.92 = \$26,708.92
  2. 1 LS Gate Valves @ \$14,602.00 = \$9,917.99
  3. 1 LS Quick Coupler Valves @ \$3,442.42 = \$3,442.42
  4. 1 LS Manual Drain Valves @ \$448.86 = \$448.86
  5. 1 LS 1" Electric Control Valves @ \$746.02 = \$746.02
  6. 1 LS 1 1/2" Electric Control Valves @ \$2,597.72 = \$2,597.72
  7. 1 LS 2" Electric Control Valves @ \$20,740.17 = \$20,740.17
  8. 1 LS CL200 PVC Lateral, Fittings and Sleeving @ \$14,601.45 = \$14,601.45
  9. 1 LS Rainbird 8005 Rotor Sprinkler Heads (245 EA Complete) @ \$19,140.51 = \$19,140.51
  10. 1 LS Rainbird 5505 Rotor Sprinkler Heads (45 EA Complete) @ \$2,061.66 = \$2,061.66
  11. 1 LS Rainbird 1804 Pop-Up Sprinkler Heads (233 EA Complete) @ \$6,043.87 = \$6,043.87
  12. 1 LS Rainbird 1804 Pop-Up for Tree Location Sprinkler Heads (48 EA Complete) @ \$1,273.61 = \$1,273.61
  13. 1 EA Constellation 24 Controller @ \$3,477.50 = \$3,477.50
  14. 1 EA Constellation 48 Controller @ \$5,527.04 = \$5,527.04
  15. 2 EA SATS Spread Spectrum Network Radio w/antenna @ \$1,668.00 = \$3,336.00. Electrical System
- I. Electrical System
1. 16,000 LF Remove and Replace (R and R) of existing buried conduit/electric line @ \$56,000.00 = \$56,000.00
  2. 1 EA R and R Musco control panel in maintenance building @ \$9,000.00 = \$9,000.00
  3. 3 EA R and R existing pedestals @ Lump Sum = \$6,075.00

4. 35 EA remove old parking lot/basketball court/pathway light poles @ Lump Sum = \$6,000.00
5. 1 EA Equipment to Remove Light Poles @ Lump Sum = \$1,800.00
6. 35 EA Assemble new light poles for parking lot/basketball court/pathway @ Lump Sum = \$41,500.00
7. 1 EA Equipment to install light poles @ LS = \$1,800.00
8. 2 EA R and R Hand Dryers in Restroom @ Lump Sum = \$1,700.00
9. 10 EA R and R electrical receptacles were damaged due to flood waters @ Lump Sum Lump Sum = \$900.00
10. 1 LS Pull wire/replace light and GFIs in the pavillion @ Lump Sum = \$1,600.00
11. 1 LS New outlets/light switches/heaters/fixtures in Maintenance Building @ Lump Sum - \$3,500.00
12. 1 LS Remove old outlets/light switches/heaters/fixtures in Maintenance Building @ Lump Sum - \$1,900.00
13. 1 LS Pipe/wires/fittings/boxes in restrooms and maintenance Building @ Lump Sum = \$12,800.00
14. 1 LS install new panel /disconnects/gear in the Pump House @ Lump Sum = \$7,400.00
15. 1 LS Demo pumphouse/conduit/wire/gear/boxes @ Lump Sum = \$1,300.00
16. 580 LF electric service in Maintenance/restroom Bldg. - 3 1/2" conduit SCH 80 @ LumpSum = \$4,700.00
17. 360 LF electrical service to pumphouse 2" sch. 40 PVC @ Lump sum = \$1,325.00
18. 2,400 LF #500 THHN electrical service in maintenance/restroom Bldg. @ Lump Sum = \$25,000.00
19. 600 LF 1/0 THHN cu. electrical service in maintenance/restroom Bldg. @ Lump Sum = \$1,800.00
20. 1,500 LF Electrical service pump station building 4/0 THHN cu. @ Lump Sum = \$8,375.00
21. 1 EA Electrical service terminate wire/transformer/CT can/meter socket @ Lump Sum = \$2,100.00
22. 1,700 LF R and R 1 1/2" sch. 40 PVC Conduit/Musco light poles/GFIs @ Lump Sum = \$31,100.00
23. 18 EA Replace 17" x 30" x 24" Vault Boxes w/lids @ Lump Sum = \$9,800.00
24. 10 EA New Terminate Musco Poles @ \$200.00 = \$2,000.00
25. 95,000 LF Pull wire to Musco poles #4 THHN @ Lump Sum = \$61,000.00
26. 18 EA Terminate vault box wiring @ Lump Sum = \$6,500.00
27. 13,000 LF 1" Conduit sch. 40 PVC for basketball courts, dugouts, parking lot/pathway lights/soccer fields @ Lump Sum = \$22,900.00
28. 52,000 LF Pull wire #8 THHN for basketball courts, dugouts, parking lot/pathway lights/soccer fields @ Lump Sum = \$22,200.00
29. 35 EA Terminate #8 THHN for basketball courts, dugouts, parking lot/pathway lights/soccer fields @ Lump Sum = \$3,400.00
30. 1 EA Install new panels/disconnects/gear in the Maintenance Building @ Lump Sum = \$9,225.00
31. 1 EA Miscellaneous Fittings @ Lump Sum = \$5,600.00
32. 1 EA Miscellaneous materials, tape, rope, pulling soap, warning tape etc. @ Lump Sum = \$2,500.00

J. Buildings and Shelters are included in Section D. above

Grand Total \$4,373,435.64 before the CEF

The applicant must notify the state if there are any changes in the scope of work prior to starting the repairs. Failure to notify the State Division of Emergency Management may jeopardize receipt of federal funds.

**RECORD RETENTION:** Complete records and cost documents for all approved work must be maintained for at least three (3) years from the date the project was complete or from the date final payment was received, whichever is later. Applicant is responsible for retention of all documentation associated with this project.

**SUPPORTING DOCUMENTATION:** 100% of the documentation to support this project has been reviewed and verified by the Applicant and Project Officer for eligibility and correctness.

**PROCUREMENT:** The applicant is required to adhere to State Government rules and regulations and maintain adequate records to support the basis for all purchasing of goods and materials and contracting services for projects approved under the Public Assistance program as stated in 44 CFR 13.36. The applicant has advised they have/will follow their normal procurement procedures.

**PERMITS:** The PA Project Specialist has advised the Applicant that it is their responsibility to obtain all applicable local, state and federal permits prior to any construction or debris disposal activity referenced on this project. Applicant has also been advised that the lack of obtaining and maintaining these documents may jeopardize funding.

**INSURANCE:** The applicant is aware that all projects are subject to an insurance review as stated in 44 CFR Sections 206.252. and 206.253. If applicable, and insurance determination will be made either as anticipated proceeds or actual proceeds in accordance with the applicant's insurance policy that may affect the total amount of the project.

**DIRECT ADMINISTRATIVE COSTS:**

February 14, 2014 Pursuant to DAP9525.9 subgrantee is requesting direct administrative costs that are directly chargeable to this specific project. Associated eligible work is related to administration of the PA project only and in accordance with 44 CFR 13.22. These costs are treated consistently and uniformly as direct costs in all federal awards and other subgrantee activities and are not included in any approved indirect cost rates

Does the Scope of Work change the pre-disaster conditions at the site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Special Considerations included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Hazard Mitigation proposal included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Is there insurance coverage on this facility? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**PROJECT COST**

ITEM	CODE	NARRATIVE	QUANTITY/UNIT	UNIT PRICE	COST
		*** Version 0 ***			
		Work To Be Completed			

1	9000	CEF Cost Estimate (See Attached Spreadsheet)	1/LS	\$ 5,605,383.00	\$ 5,605,383.00
2	9901	Direct Administrative Costs (Subgrantee)	1/LS	\$ 26,107.90	\$ 26,107.90
		Other			
3	0000	Work to be Completed	0/LS	\$ 0.00	\$ 0.00
				<b>TOTAL COST</b>	\$ 5,631,490.90
PREPARED BY JOHN HURST			TITLE	SIGNATURE	
APPLICANT REP. Sheryl Trent			TITLE Community Development Director	SIGNATURE	

<b>EVANS :</b>					
<b>Conditions Information</b>					
<b>Review Name</b>	<b>Condition Type</b>	<b>Condition Name</b>	<b>Description</b>	<b>Monitored</b>	<b>Status</b>
No Conditions					

<b>Internal Comments</b>				
<b>No.</b>	<b>Queue</b>	<b>User</b>	<b>Date/Time</b>	<b>Reviewer Comments</b>
No Comments				

# APPENDIX A5: PROJECT WORKSHEET #608

PA-08-CO-4145-PW-00608(0) P	
Applicant Name:	Application Title:
EVANS	EVANS12 - Facility Repair Trails
Period of Performance Start:	Period of Performance End:
09-14-2013	

## Subgrant Application - Entire Application

**Application Title:** EVANS12 - Facility Repair Trails  
**Application Number:** PA-08-CO-4145-PW-00608(0)  
**Application Type:** Subgrant Application (PW)

### Preparer Information

Prefix	Mr.
First Name	JOHN
Middle Initial	
Last Name	HURST
Title	
Agency/Organization Name	DHS/FEMA Region VIII
Address 1	9200 East Mineral Ave.
Address 2	
City	Centennial
State	CO
Zip	80112
Email	deanna.butterbaugh@state.co.us

Is the application preparer the Point of Contact? No

### Point of Contact Information

Prefix	Ms.
First Name	Sheryl
Middle Initial	
Last Name	Trent
Title	Community Development Director
Agency/Organization	Evans (City of)
Address 1	1100 37th Street
Address 2	
City	Evans
State	CO
ZIP	80620
Phone	970-475-1112
Fax	

Email strent@evanscolorado.gov

Alternate Point of Contact Information

Prefix Ms.  
First Name Jessica  
Middle Initial  
Last Name Gonifas  
Title Deputy City Manager  
Agency/Organization Evans (City of)  
Address 1 1100 37th Street  
Address 2  
City Evans  
State CO  
ZIP 80620  
Phone 970-475-1106  
Fax  
Email jgonifas@evanscolorado.gov

Project Description

Disaster Number: 4145  
Pre-Application Number: PA-08-CO-4145-RPA-0031  
Applicant ID: 123-25280-00  
Applicant Name: EVANS  
Subdivision:  
Project Number: EVANS12  
Standard Project Number/Title: 799 - Recreational or Other  
Please Indicate the Project Type: Neither Alternate nor Improved  
Application Title: EVANS12 - Facility Repair Trails  
Category: G.RECREATIONAL OR OTHER  
Percentage Work Completed? 0.0 %  
As of Date: 02-03-2014

Comments

Attachments

Damage Facilities (Part 1 of 2)

Facility Number	Facility Name	Address	County	City	State	ZIP	Site Previously Damaged?	Action
1	Riverside Park - Trail System	1100 37th Street	Weld	Evans	CO	80620	No	

Comments

Attachments

Facility Name:	Riverside Park - Trail System
Address 1:	1100 37th Street
Address 2:	
County:	Weld
City:	Evans
State:	CO
ZIP:	80620
Was this site previously damaged?	No
Percentage Work Completed?	0.00 %
Location:	PA-08-CO-4145-PW-00608(0): T-05-N R-66-W Section 25.
	<p>PA-08-CO-4145-PW-00608(0):  During the declared incident period of September 11, 2013, through September 30, 2013, the declared severe storms caused flooding, landslides and mudslides throughout Weld County in Colorado. The flooding of all the tributaries in the Weld County area damaged the City of Evans Riverside Park. The trail system with in Riverside Park was compromised in several locations. The following facilities suffered damage to the concrete, asphalt or stonebase trail system. The existing thickness of concrete trail is 6" thick and asphalt trail is 4" thick. The applicant has broken the trail system into nineteen segments. There are 17 different segments of the trail system at Riverside Park where there is some type of disaster related issues to be resolved (Please see the attached Trail Spreadseet). Issues to be addressed in this spreadsheet are reconstruction of Concrete Trail (1,180 Linear Feet (LF) x 8 LF Wide = 1,049 Square Yards (SY)), reconstruction of Asphalt Trail (2,560 LF x 8 LF Wide = 2,275 SY), reconstruction of Gravel Trail (520 LF x 8 LF Wide = 462 SY), removal of sediment on the different types of trail, please see attached spreadsheet for measurements of sediment to be removed (1,738 CY), and removal of vegetative debris removal a total of 795 Cy of vegetative debris (650 LF x 9LF x .5 VF)/27 + (145 LF x 9LF x 1 VF)/27 = 156CY.</p> <p>Please see the breakdown of work to be completed per segment is in the SOW.</p> <p>The GPS coordinates shown on the cover page are for Trail Segment #1 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36694, -104.69674). The end of the damage to Trail Segment #1 is 40.36708,-104.68942. Location: T-05-N R-66-W Section 25. - Concrete Trail Replacement at segment #1 = 1,180 LF x 8 LF = 1,049 SY.</p> <p>The GPS coordinates for Trail Segment #2 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36708, -104.68942). The end of the damage to Trail Segment #2 is 40.36800,-104.68662. Location: T-05-N R-66-W Section 25. Asphalt Trail Replacement at Segment #2 = 590 LF x 8 LF = 524 SY.</p> <p>The GPS coordinates for Trail Segment #3 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36708, -104.68840). The end of the damage to Trail Segment #3 is 40.36941,-104.68849. Location: T-05-N R-66-W Section 25. At Segment #3 Asphalt Trail Replacement = 500 LF x 8 LF = 444 SY and Sediment Removal = 600 LF x 8 LF x 6"(.5) VF = 89 CY.</p>

Damage Description and Dimensions:

The GPS coordinates for Trail Segment #4 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36941, -104.68849). The end of the damage to Trail Segment #4 is 40.37005,-104.68890. Location: T-05-N R-66-W Section 25. At segment #4 Sediment Removal = 340 LF x 8 LF x .5 VF = 50 CY.

The GPS coordinates for Trail Segment #5 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36941, -104.68849). The end of the damage to Trail Segment #5 is 40.36994,-104.68555. Location: T-05-N R-66-W Section 25. At Segment #5 Sediment Removal = 860 LF x 8 LF x 2.0 VF = 510 CY.

The GPS coordinates for Trail Segment #6 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36994, -104.68555). The end of the damage to Trail Segment #6 is 40.36800,-104.68662. Location: T-05-N R-66-W Section 25. At Segment #6 Asphalt Trail Replacement = 100 LF x 8 LF = 89 SY and Sediment Removal 1,050 LF x 12 LF x 1.0 VF.

The GPS coordinates for Trail Segment #7 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36800, -104.68662). The end of the damage to Trail Segment #7 is 40.36983,-104.68332. Location: T-05-N R-66-W Section 25. At Segment #7 Sediment Removal = 500 LF x 10 LF x .5 VF = 93 CY.

The GPS coordinates for Trail Segment #8 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36994, -104.68555). The end of the damage to Trail Segment #8 is 40.36983,-104.68332. Location: T-05-N R-66-W Section 25. This segment will be addressed on PW #EVANS14 for the berm and trail over top of a decommissioned and stabilized landfill that will be capped by others.

The GPS coordinates for Trail Segment #9 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36983, -104.68332). The end of the damage to Trail Segment #9 is 40.37100,-104.68203. Location: T-05-N R-66-W Section 25. At Segment #9 Sediment Removal = 580 LF x 10 LF x 1.0 VF = 215 CY.

The GPS coordinates for Trail Segment #10 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.37100, -104.68203). The end of the damage to Trail Segment #10 is 40.37282,-104.68137. Location: T-05-N R-66-W Section 25. At Segment #10 there is no damage.

The GPS coordinates for Trail Segment #11 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.37100, -104.68203). The end of the damage to Trail Segment #11 is 40.37390,-104.68115. Location: T-05-N R-66-W Section 25. At Segment #11 Asphalt Trail replacement = 1,100 LF x 8 LF = 978 SY.

The GPS coordinates for Trail Segment #12 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.37282, -104.68137). The end of the damage to Trail Segment #12 is 40.37990,-104.68115. Location: T-05-N R-66-W Section 25. At Segment #12 there is no damage.

The GPS coordinates for Trail Segment #13 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.37427, -104.68315). The end of the damage to Trail Segment #13 is 40.37390,-104.68115. Location: T-05-N R-66-W Section 25. At Segment #13 Sediment Removal = 650 LF x 10 LF x .33 VF = 79 CY.

The GPS coordinates for Trail Segment #14 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.37427, -104.68315). The end of the damage to Trail Segment #14 is 40.37304,-104.68239. Location: T-05-N

R-66-W Section 25. At Segment #14 Sediment Removal = 240 LF x 10 LF x .33 VF = 29 CY.

The GPS coordinates for Trail Segment #15 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.37427, -104.68315). The end of the damage to Trail Segment #15 is 40.37284,-104.68224. Location: T-05-N R-66-W Section 25. At Segment #15 Vegetative Debris Removal = 650 LF x 9 LF x .5 VF = 108 CY.

The GPS coordinates for Trail Segment #16 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.37304, -104.68239). The end of the damage to Trail Segment #16 is 40.40.37282,-104.68137. Location: T-05-N R-66-W Section 25. At Segment #16 Sediment Removal 100 LF x 10 LF x 2.0 VF = 74 CY and Vegetative Debris Removal 145 LF x 9 LF x 1.0 VF = 48 CY.

The GPS coordinates for Trail Segment #17 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.37294, -104.68378). The end of the damage to Trail Segment #17 is 40.37249,-104.68486. Location: T-05-N R-66-W Section 25. At Segment #17 Sediment Removal = 200 LF x 10 LF x .33 VF = 24 CY.

The GPS coordinates for Trail Segment #18 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.37298, -104.68625). The end of the damage to Trail Segment #18 is 40.37249,-104.68486. Location: T-05-N R-66-W Section 25. At Segment #18 Gravel Trail Replacement = 520 LF x 8 LF = 462 SY.

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Scope of Work:

PA-08-CO-4145-PW-00608(0):

The applicant contracted with an engineer to estimate the cost to repair the damages to all the facilities at Riverside Park and a contractor will be used to return them to predisaster condition.

**WORK TO BE COMPLETED**

The scope of work includes all elements necessary to restore the damaged trail system at Riverside Park in the City of Evans. The City of Evans has demonstrated that their Council has adopted a resolution (#34-2004, dated April 20, 2004 –Attached in backup)that gives the design of all future bike paths to be 10' wide x 6" Deep concrete trails that are bedded in 4" Class 5 Road Base, see attached Bike Path Detail No S-1, April 2004. The reconstruction of all trails will follow this design with the exception of an 8 foot width to match the undamaged sections of trail that exist in the system. The reconstruction of trail system in this Project Worksheet will be done by the lowest responsible contractor that the applicant selects through their normal procurement procedure. The selected contractor will complete the work for an estimated total cost of \$269,403.46, that includes mobilization and reestablishment of the Concrete Trail at all 19 locations. Descriptions of the work to be done at each segment of the trail system is as follows.

Segment #1 - Concrete Trail = 1,049 SY @ \$63.61/SY = \$66,726.89  
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#### SCOPE NOTES:

Codes and Standards: Resolution 34-2004, April 20, 2004 and Bike Path Detail construction standard (S-1, April 2004) attached as backup. Upon further review, audit or closeout, the Applicant must be able to furnish that this construction standard /technique has been applied prior to this disaster event.

1. The applicant has contracted with HDR Engineering, Inc. and TB Group to provide estimates of damages to all of their facilities. The HDR Estimate is attached. The HDR Engineering estimate was verified using a Colorado DOT price list by a FEMA project specialist and it was used to formulate this Project Worksheet.
2. Within Segment #1 of the Concrete Trail there is an area that was along the banks of the South Platte River that suffered bank erosion on the Northern bank. The existing concrete trail in this 732 Linear Feet (LF) is now in the the river bed. Mitigation in this destroyed area is to relocate the trail to the North, avoiding trees and installing 845 LF of concrete trail to reconnect to undamaged segments of the existing trail system. FEMA HMP specialist David Ray states "Due to the extent of the damage to the Trail it could not be repaired in the original foot print. As a least cost alternative the applicant proposes to move the Trail. Mitigation will be achieved through good construction. David Ray 406 Mitigation Specialist".
3. The price for removal of the damaged concrete and asphalt material has been included in the per square yard rate in the estimate prepared by HDR Engineering, Inc. The removal of the damage gravel trail has been calculated in the debris removal, where applicable, per the HDR Engineering, Inc. estimate.
4. Disposal of the damaged concrete and asphalt trails that will be removed, will have to be documented at approved disposal facilities. Failure to provide this documented information on the disposal of the razed concrete and asphalt could jeopardize Federal Funding.
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**PERMITS:** The PA Project Specialist has advised the Applicant that it is their responsibility to obtain all applicable local, state and federal permits prior to any construction or debris disposal activity referenced on this project. Applicant has also been advised that the lack of obtaining and maintaining these documents may jeopardize funding.

**INSURANCE:** The applicant is aware that all projects are subject to an insurance review as stated in 44 CFR Sections 206.252. and 206.253. If applicable, and insurance determination will be made either as anticipated proceeds or actual proceeds in accordance with the applicant's insurance policy that may affect the total amount of the project.

**DIRECT ADMINISTRATIVE COSTS:**  
February 6, 2014 Pursuant to DAP9525.9 subgrantee is requesting direct administrative costs that are directly chargeable to this specific project. Associated eligible work is related to administration of the PA project only and in accordance with 44 CFR 13.22. These costs are treated consistently and uniformly as direct costs in all federal awards and other subgrantee activities and are not included in any approved indirect cost rates.

<b>Hazard Mitigation Proposal</b>	
• Is effective mitigation feasible on this site?	Yes
If you answered <b>Yes</b> to the above question, the next question is required	
Will mitigation be performed on this site?	Yes
If you answered <b>Yes</b> to the above question, the next question is required	
Do you wish to attach a Hazard Mitigation Proposal?	No
If you answered <b>Yes</b> to the above question, the next two questions are required	
Please provide the Scope of Work for the estimate: (maximum 4000 characters)	Within Segment #1 of the Concrete Trail there is an area that was along the banks of the South Platte River that suffered bank erosion on the Northern bank. The existing concrete trail in this 732 Linear Feet (LF) is now in the the river bed. Mitigation in this destroyed area is to relocate the trail to the North, avoiding trees and installing 845 LF of concrete trail to reconnect to undamaged segments of the existing trail system. FEMA HMP specialist David Ray states "Due to the extent of the damage to the Trail it could not be repaired in the original foot print. As a least cost alternative the applicant proposes to move the Trail. Mitigation will be achieved through good construction. David Ray 406 Mitigation Specialist".
Would you like to add the Hazard Mitigation Proposal as a cost line item to the project cost?	No

Project Location	GIS Coordinates	
	Latitude	Longitude
Trail Segment #1	40.31554	-104.84868

**Special Considerations**

1. Does the damaged facility or item of work have insurance coverage and/or is it an insurable risk (e.g., buildings, equipment, vehicles, etc)? No
2. Is the damaged facility located within a floodplain or coastal high hazard area and/or does it have an impact on a floodplain or wetland? Yes

If you would like to make any comments, please enter them below.

(maximum 4000 characters)

The segment of the Concrete Trail that has been destroyed is within the flood plain. The relocated banks of the S. Platte River will not be altered by this construction. The relocation of this destroyed trail will achieve mitigation per FEMA HMP Specialist David Ray. See attached email.

3. Is the damaged facility or item of work located within or adjacent to a Coastal Barrier Resource System Unit or an Otherwise Protected Area? No
4. Will the proposed facility repairs/reconstruction change the pre-disaster conditions (e.g., footprint, material, location, capacity, use of function)? Yes

If you would like to make any comments, please enter them below.

(maximum 4000 characters)

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5. Does the applicant have a hazard mitigation proposal or would the applicant like technical assistance for a hazard mitigation proposal? No
6. Is the damaged facility on the National Register of Historic Places or the state historic listing? Is it older than 50 years? Are there more, similar buildings near the site? No
7. Are there any pristine or undisturbed areas on, or near, the project site? Are there large tracts of forestland? Yes

If you would like to make any comments, please enter them below.

(maximum 4000 characters)

The relocated segment of the Concrete Trail that has been destroyed is within the flood plain. The relocated banks of the S. Platte River will not be altered by this construction. The relocation of this destroyed trail will achieve mitigation per FEMA HMP Specialist David Ray. See attached email.

8. Are there any hazardous materials at or adjacent to the damaged facility and/or item of work? No

If you would like to make any comments, please enter them below.

(maximum 4000 characters)

No hazardous materials will be encountered on this project.

9. Are there any other environmental or controversial issues associated with the damaged facility and/or item of work? Yes

If you would like to make any comments, please enter them below.

(maximum 4000 characters)

This area is known to be habitat for an endangered species of mouse. An EHP review is under way. Please see the attached email from FEMA EHP Specialist Rose Fosha.

Attachments

**For Category C, D, E, F, and G Projects only**

Is effective mitigation feasible on this project? Yes

If you answered **Yes** to the above question, the next question is required

Will mitigation be performed on any sites in this Yes



project?

If you answered **Yes** to the above question, the next question is required

Do you wish to attach a Hazard Mitigation Proposal? No

If you answered **Yes** to the above question, the next two questions are required

Please provide the Scope of Work for the estimate:

Would you like to add the Hazard Mitigation Proposal as a cost line item to the project cost? No

Comments
Attachments

Cost Estimate
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Is this Project Worksheet for	Cost Estimate Format
-------------------------------	----------------------

(Preferred) Repair									
Sequence	Code	Material and/or Description	Unit Quantity	Unit of Measure	Unit Price	Subgrant Budget Class	Type	Cost Estimate	Action
*** Version 0 ***									
<b>Work To Be Completed</b>									
1	9000	CEF Cost Estimate (See Attached Spreadsheet)	1	LS	\$ 381,036.00	CONSTRUCTION	Work To Be Completed	\$ 381,036.00	
2	9901	Direct Administrative Costs (Subgrantee)	1	LS	\$ 12,451.96	INDIRECT CHARGES	Work To Be Completed	\$ 12,451.96	
<b>Total Cost :</b>								<b>\$ 393,487.96</b>	

Insurance Adjustments (Deductibles, Proceeds and Settlements) - 5900/5901									
Sequence	Code	Material and/or Description	Unit Quantity	Unit of Measure	Unit Price	Subgrant Budget Class	Type	Cost Estimate	Action
<b>Total Cost :</b>								<b>\$ 0.00</b>	

<b>Total Cost Estimate:</b> (Preferred Estimate Type + Insurance Adjustments)	<b>\$ 393,487.96</b>
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Comments
Attachments

Existing Insurance Information						
Insurance Type	Policy No.	Bldg/Property Amount	Content Amount	Insurance Amount	Deductible Amount	Years Required

Comments
Attachments

**Comments and Attachments**

Name of Section	Comment	Attachment
Preparer Information		<a href="#">PW-608_email_Re_ESA-NHPA-CWW.pdf</a>
Form 90-91		<a href="#">EVANS12 - Revised CEF 2-19-2014.pdf</a> <a href="#">Old Template - Revised 2-19-2014.pdf</a> <a href="#">EVANS12 - Backup Revised 2-19-2014.pdf</a> <a href="#">EVANS12 - Signed 90-91.pdf</a> <a href="#">City of Evans Consultant Agreements.pdf</a>

Bundle Reference # (Amendment #)	Date Awarded
PA-08-CO-4145-State-0038(37)	03-18-2014

**Subgrant Application - FEMA Form 90-91**

**Note:** The Effective Cost Share for this application is 75%

FEDERAL EMERGENCY MANAGEMENT AGENCY PROJECT WORKSHEET								
DISASTER		PROJECT NO.		PA ID NO.	DATE	CATEGORY		
FEMA	4145	-	DR	-CO	EVANS12	123-25280-00	02-22-2014	G
APPLICANT: EVANS					WORK COMPLETE AS OF: 02-03-2014 : 0 %			
Site 1 of 1								
DAMAGED FACILITY:					COUNTY: Weld			
Riverside Park - Trail System								
LOCATION:					LATITUDE:	LONGITUDE:		
PA-08-CO-4145-PW-00608(0): T-05-N R-66-W Section 25.					40.31554	-104.84868		
DAMAGE DESCRIPTION AND DIMENSIONS:								
PA-08-CO-4145-PW-00608(0):								
<p>During the declared incident period of September 11, 2013, through September 30, 2013, the declared severe storms caused flooding, landslides and mudslides throughout Weld County in Colorado. The flooding of all the tributaries in the Weld County area damaged the City of Evans Riverside Park. The trail system with in Riverside Park was compromised in several locations. The following facilities suffered damage to the concrete, asphalt or stonebase trail system. The existing thickness of concrete trail is 6" thick and asphalt trail is 4" thick. The applicant has broken the trail system into nineteen segments. There are 17 different segments of the trail system at Riverside Park where there is some type of disaster related issues to be resolved (Please see the attached Trail Spreadsheet). Issues to be addressed in this spreadsheet are reconstruction of Concrete Trail (1,180 Linear Feet (LF) x 8 LF Wide = 1,049 Square Yards (SY)), reconstruction of Asphalt Trail (2,560 LF x 8 LF Wide = 2,275 SY), reconstruction of Gravel Trail (520 LF x 8 LF Wide = 462 SY), removal of sediment on the different types of trail, please see attached spreadsheet for measurements of sediment to be removed (1,738 CY), and removal of vegetative debris removal a total of 795 Cy of vegetative debris (650 LF x 9LF x .5 VF)/27 + (145 LF x 9LF x 1 VF)/27 = 156CY.</p>								
Please see the breakdown of work to be completed per segment is in the SOW.								
The GPS coordinates shown on the cover page are for Trail Segment #1 at the start of the damage to the trail system in City of Evans, CO. 80620								

(40.36694, -104.69674). The end of the damage to Trail Segment #1 is 40.36708, -104.68942. Location: T-05-N R-66-W Section 25. - Concrete Trail Replacement at segment #1 = 1,180 LF x 8 LF = 1,049 SY.

The GPS coordinates for Trail Segment #2 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36708, -104.68942). The end of the damage to Trail Segment #2 is 40.36800, -104.68662. Location: T-05-N R-66-W Section 25. Asphalt Trail Replacement at Segment #2 = 590 LF x 8 LF = 524 SY.

The GPS coordinates for Trail Segment #3 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36708, -104.68840). The end of the damage to Trail Segment #3 is 40.36941, -104.68849. Location: T-05-N R-66-W Section 25. At Segment #3 Asphalt Trail Replacement = 500 LF x 8 LF = 444 SY and Sediment Removal = 600 LF x 8 LF x 6(.5) VF = 89 CY.

The GPS coordinates for Trail Segment #4 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36941, -104.68849). The end of the damage to Trail Segment #4 is 40.37005, -104.68890. Location: T-05-N R-66-W Section 25. At segment #4 Sediment Removal = 340 LF x 8 LF x .5 VF = 50 CY.

The GPS coordinates for Trail Segment #5 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36941, -104.68849). The end of the damage to Trail Segment #5 is 40.36994, -104.68555. Location: T-05-N R-66-W Section 25. At Segment #5 Sediment Removal = 860 LF x 8 LF x 2.0 VF = 510 CY.

The GPS coordinates for Trail Segment #6 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36994, -104.68555). The end of the damage to Trail Segment #6 is 40.36800, -104.68662. Location: T-05-N R-66-W Section 25. At Segment #6 Asphalt Trail Replacement = 100 LF x 8 LF = 89 SY and Sediment Removal 1,050 LF x 12 LF x 1.0 VF.

The GPS coordinates for Trail Segment #7 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36800, -104.68662). The end of the damage to Trail Segment #7 is 40.36983, -104.68332. Location: T-05-N R-66-W Section 25. At Segment #7 Sediment Removal = 500 LF x 10 LF x .5 VF = 93 CY.

The GPS coordinates for Trail Segment #8 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36994, -104.68555). The end of the damage to Trail Segment #8 is 40.36983, -104.68332. Location: T-05-N R-66-W Section 25. This segment will be addressed on PW #EVANS14 for the berm and trail over top of a decommissioned and stabilized landfill that will be capped by others.

The GPS coordinates for Trail Segment #9 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.36983, -104.68332). The end of the damage to Trail Segment #9 is 40.37100, -104.68203. Location: T-05-N R-66-W Section 25. At Segment #9 Sediment Removal = 580 LF x 10 LF x 1.0 VF = 215 CY.

The GPS coordinates for Trail Segment #10 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.37100, -104.68203). The end of the damage to Trail Segment #10 is 40.37282, -104.68137. Location: T-05-N R-66-W Section 25. At Segment #10 there is no damage.

The GPS coordinates for Trail Segment #11 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.37100, -104.68203). The end of the damage to Trail Segment #11 is 40.37390, -104.68115. Location: T-05-N R-66-W Section 25. At Segment #11 Asphalt Trail replacement = 1,100 LF x 8 LF = 978 SY.

The GPS coordinates for Trail Segment #12 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.37282, -104.68137). The end of the damage to Trail Segment #12 is 40.37990, -104.68115. Location: T-05-N R-66-W Section 25. At Segment #12 there is no damage.

The GPS coordinates for Trail Segment #13 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.37427, -104.68315). The end of the damage to Trail Segment #13 is 40.37390, -104.68115. Location: T-05-N R-66-W Section 25. At Segment #13 Sediment Removal = 650 LF x 10 LF x .33 VF = 79 CY.

The GPS coordinates for Trail Segment #14 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.37427, -104.68315). The end of the damage to Trail Segment #14 is 40.37304, -104.68239. Location: T-05-N R-66-W Section 25. At Segment #14 Sediment Removal = 240 LF x 10 LF x .33 VF = 29 CY.

The GPS coordinates for Trail Segment #15 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.37427, -104.68315). The end of the damage to Trail Segment #15 is 40.37284, -104.68224. Location: T-05-N R-66-W Section 25. At Segment #15 Vegetative Debris Removal = 650 LF x 9 LF x .5 VF = 108 CY.

The GPS coordinates for Trail Segment #16 at the start of the damage to the trail system in City of Evans, CO. 80620 (40.37304, -104.68239). The end of the damage to Trail Segment #16 is 40.40.37282, -104.68137. Location: T-05-N R-66-W Section 25. At Segment #16 Sediment Removal 100 LF x 10 LF x 2.0 VF = 74 CY and Vegetative Debris Removal 145 LF x 9 LF x 1.0 VF = 48 CY.

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**PROCUREMENT:** The applicant is required to adhere to State Government rules and regulations and maintain adequate records to support the basis for all purchasing of goods and materials and contracting services for projects approved under the Public Assistance program as stated in 44 CFR 13.36. The applicant has advised they have/will follow their normal procurement procedures.

**PERMITS:** The PA Project Specialist has advised the Applicant that it is their responsibility to obtain all applicable local, state and federal permits prior to any construction or debris disposal activity referenced on this project. Applicant has also been advised that the lack of obtaining and maintaining these documents may jeopardize funding.

**INSURANCE:** The applicant is aware that all projects are subject to an insurance review as stated in 44 CFR Sections 206.252. and 206.253. If applicable, and insurance determination will be made either as anticipated proceeds or actual proceeds in accordance with the applicant's

insurance policy that may affect the total amount of the project.

**DIRECT ADMINISTRATIVE COSTS:**

February 6, 2014 Pursuant to DAP9525.9 subgrantee is requesting direct administrative costs that are directly chargeable to this specific project. Associated eligible work is related to administration of the PA project only and in accordance with 44 CFR 13.22. These costs are treated consistently and uniformly as direct costs in all federal awards and other subgrantee activities and are not included in any approved indirect cost rates.

Does the Scope of Work change the pre-disaster conditions at the site? <input type="checkbox"/> Yes <input type="checkbox"/> No		Special Considerations included? <input type="checkbox"/> Yes <input type="checkbox"/> No			
Hazard Mitigation proposal included? <input type="checkbox"/> Yes <input type="checkbox"/> No		Is there Insurance coverage on this facility? <input type="checkbox"/> Yes <input type="checkbox"/> No			
PROJECT COST					
ITEM	CODE	NARRATIVE	QUANTITY/UNIT	UNIT PRICE	COST
		*** Version 0 ***			
		Work To Be Completed			
1	9000	CEF Cost Estimate (See Attached Spreadsheet)	1/LS	\$ 381,036.00	\$ 381,036.00
2	9901	Direct Administrative Costs (Subgrantee)	1/LS	\$ 12,451.96	\$ 12,451.96
				<b>TOTAL COST</b>	<b>\$ 393,487.96</b>
PREPARED BY JOHN HURST			TITLE	SIGNATURE	
APPLICANT REP. Sheryl Trent			TITLE Community Development Director	SIGNATURE	

EVANS : PA-08-CO-4145-PW-00608					
Conditions Information					
Review Name	Condition Type	Condition Name	Description	Monitored	Status
Final Review	Other (EHP)	Standard Condition #2	This review does not address all federal, state and local requirements. Acceptance of federal funding requires recipient to comply with all federal, state and local laws. Failure to obtain all appropriate federal, state and local environmental permits and clearances may jeopardize federal funding.	No	Approved
Final Review	Other (EHP)	Standard Condition #1	Any change to the approved scope of work will require re-evaluation for compliance with NEPA and other Laws and Executive Orders.	No	Approved
Final Review	Other (EHP)	National Historic Preservation Act (NHPA)	Gravel/borrow materials for work to be completed must be obtained from one of the following pre-approved sources: (SHPO approved source, CO Licensed Pit, commercial source, contractor or county Stockpiles).	No	Approved
			Debris must be appropriately separated and disposed of in an approved disposal site or landfill. Asphalt must be recycled as a blended base material or		

Final Review	Other (EHP)	State Hazardous Materials and Solid Waste Laws	appropriately separated and disposed of in an approved disposal site or landfill in accordance with the CDPHE authorized waste management regulations. For any "Asbestos Containing Material", lead-based paint and/or other hazardous materials found during remediation or repair activities, the Applicant must comply with all Federal, State, and local abatement and disposal requirements. Applicants are responsible for ensuring contracted removal of hazardous debris also follows these guidelines.	No	Approved
Final Review	Other (EHP)	Endangered Species Act (ESA)	1. The City of Evans will avoid removing any live or dormant riparian vegetation, such as trees or shrubs. 2. The City of Evans will access the proposed project area along existing trails and roads. 3. The City of Evans will reseed temporarily disturbed areas with a native, weed-free grass seed mixture. 4. The City of Evans will use best management practices (BMPs) to prevent erosion, sedimentation, and the spread of invasive weeds.	No	Approved
Final Review	Other (EHP)	Standard Condition #3	If ground disturbing activities occur during construction, applicant will monitor ground disturbance and if any potential archeological resources are discovered, will immediately cease construction in that area and notify the State and FEMA.	No	Approved
EHP Review	Other (EHP)	Standard Condition #2	This review does not address all federal, state and local requirements. Acceptance of federal funding requires recipient to comply with all federal, state and local laws. Failure to obtain all appropriate federal, state and local environmental permits and clearances may jeopardize federal funding.	No	Recommended
EHP Review	Other (EHP)	Standard Condition #1	Any change to the approved scope of work will require re-evaluation for compliance with NEPA and other Laws and Executive Orders.	No	Recommended
EHP Review	Other (EHP)	National Historic Preservation Act (NHPA)	Gravel/borrow materials for work to be completed must be obtained from one of the following pre-approved sources: (SHPO approved source, CO Licensed Pit, commercial source, contractor or county Stockpiles).	No	Recommended
			Debris must be appropriately separated and disposed of in an		

EHP Review	Other (EHP)	State Hazardous Materials and Solid Waste Laws	approved disposal site or landfill. Asphalt must be recycled as a blended base material or appropriately separated and disposed of in an approved disposal site or landfill in accordance with the CDPHE authorized waste management regulations. For any "Asbestos Containing Material", lead-based paint and/or other hazardous materials found during remediation or repair activities, the Applicant must comply with all Federal, State, and local abatement and disposal requirements. Applicants are responsible for ensuring contracted removal of hazardous debris also follows these guidelines.	No	Recommended
EHP Review	Other (EHP)	Endangered Species Act (ESA)	1. The City of Evans will avoid removing any live or dormant riparian vegetation, such as trees or shrubs. 2. The City of Evans will access the proposed project area along existing trails and roads. 3. The City of Evans will reseed temporarily disturbed areas with a native, weed-free grass seed mixture. 4. The City of Evans will use best management practices (BMPs) to prevent erosion, sedimentation, and the spread of invasive weeds.	No	Recommended
EHP Review	Other (EHP)	Standard Condition #3	If ground disturbing activities occur during construction, applicant will monitor ground disturbance and if any potential archeological resources are discovered, will immediately cease construction in that area and notify the State and FEMA.	No	Recommended

**Internal Comments**

No.	Queue	User	Date/Time	Reviewer Comments
7	Award Review	SYSTEM	03-18-2014 10:45 PM GMT	ACCEPTED
6	<u>Final Review</u>	PALACIO JOSE	03-16-2014 02:42 PM GMT	Note: The applicant contracted with an engineer to estimate the cost to repair the damages to all the facilities at Riverside Park. Final Reviewer finds eligible the application and approves the funding of this CAT-G project worksheet based on the applicant having performed all required procurement procedures, perform all required special considerations recommendations such as permits to address EHP considerations and securing all actual cost documentation for the financial reconciliation of this project. Task Force Leader- J. Palacio 03/16/2014
5	<u>Grantee Review</u>	BALDWIN SCOTT	03-13-2014 10:04 PM GMT	Grantee has reviewed this PW and finds costs to be both eligible and reasonable.

4	EHP Review	DELAUNE JONATHAN	03-13-2014 04:41 PM GMT	<p>Category: G, 0% Complete, Evans (City of), Weld County. Repair to pre-disaster condition the trail system at Riverside Park. Repair concrete, asphalt and gravel trail, removed sediment, damaged concrete asphalt (excluding what is in the river), and vegetative debris. Mitigation: relocate destroyed concrete trail (site#1) away from river; 845 ft L x 8 ft W = 6760 sq ft. This does not include removing destroyed trail segment that is now in the South Platte River. - sbayardd - 03/13/2014 15:00:05 GMT</p> <p>Project site work is in mapped wetlands. Project has no potential to impact the wetland function or resources and substantially restores site to pre-disaster condition. No further wetland review is required under the 8-step process. - sbayardd - 03/03/2014 18:14:37 GMT</p> <p>The entire community will benefit from the completion of this project - sbayardd - 03/03/2014 18:13:08 GMT</p> <p>The project is within the range of Preble's Meadow Jumping Mouse (<i>Zapus hudsonius preblei</i>), a species listed as Threatened under the Endangered Species Act (ESA) that inhabits riparian areas and adjacent upland areas within 300 feet of the 100-year floodplain. FEMA initiated informal consultation with the USFWS on March 10, 2014. The USFWS tracking number for this consultation is 06E24000-2014-I-0433. FEMA received concurrence from USFWS on March 11, 2014. - sbayardd - 03/13/2014 15:30:30 GMT</p> <p>Work involves removal, staging, transporting, and/or disposal of debris. (Includes culverts) - sbayardd - 03/13/2014 15:35:56 GMT</p> <p>Project is located in Zones C (trail segments #4 and 12) and Zone B (all other trail segments), FIRM panel 0801820001B, dated 04/02/1979. Per 44 CFR Part 9.5 (g) Step 1: Project repairs are determined to have no effect on floodplain or wetlands provided that the repairs remain in the existing footprint and do not impact previously undisturbed areas. No further floodplains review is required. - sbayardd - 03/13/2014 16:00:49 GMT</p> <p>The scope of work has been reviewed and meets the criteria of the 2013 signed Programmatic Agreement, Item Number I; Section Letter (A) and Item Number VII; Section Letter (A &amp; G) agreed to by FEMA and the SHPO. - sbayardd - 03/13/2014 15:01:22 GMT</p>
3	<u>Mitigation Review</u>	DROST BRIAN	02-25-2014 03:18 PM GMT	This repair/restoration project has been reviewed for mitigation opportunities; some mitigation has been achieved by the method of repair via codes and standards.
2	<u>Cost Estimate Format Review</u>	HELLAND KEVIN	02-24-2014 07:59 PM GMT	CEF eligible as written - KDH 02/24/14
1	<u>Insurance Review</u>	GILLIAM ROBERT	02-24-2014 07:35 PM GMT	Applicant's property excludes "flood" as a covered peril. Insurance proceeds are not anticipated for this project, and FEMA does not place an insurance O&M on this type facility.

# APPENDIX A6: CDBG-DR NOI



## COLORADO

### Community Development Block Grant - Disaster Recovery - ROUND ONE Infrastructure Program Notice of Intent Project List Summary Sheet

Applicant/Organization:   
 Primary Contact Name:   
 Primary Contact Phone:   
 Primary Contact Email:

Purpose: The purpose of this form is to provide a prioritized summary listing of your infrastructure project proposals and the accompanying budgets.

Instructions: List your project proposals in order from the highest priority to the lowest priority. Enter the rank in the priority column (starting with 1 as the highest priority). Ensure that the activity titles are consistent with the activity title provided on the accompanying project proposals. Submit this form with your project proposals.

Priority	Proposed Activity Title	PW #	Estimated Project Budget	Estimated CDBG Share
1	Priority 1 - WWTF Cat B PW#680	EVANS10/680	\$ 360,307.09	\$ 45,038.39
2	Priority 2 - WWTF Cat F PWEVANS17	EVANS17	\$ 1,017,933.00	\$ 127,241.63
3	Priority 3 - Roads Cat C PW#302	EVANS09/302	\$ 1,270,782.68	\$ 158,847.84
4	Priority 4 - Berm Cat G PW#634	EVANS08/634	\$ 117,340.00	\$ 14,667.50
5	Priority 5 - Riverside Park Cat G PWEVANS11	EVANS11	\$ 5,639,331.90	\$ 704,916.49
6	Priority 6 - Evans Town Ditch PW#227	EVANS06/227	\$ 48,758.85	\$ 6,094.86
7	Priority 7 - Generator HMPG Match	None	\$ 98,826.00	\$ 12,353.25
8	Priority 8 - WWTF Option 1	None	\$ 15,256,000.00	\$ 5,000,000.00
9	Priority 9 - WWTF Option 2	None	\$ 22,332,000.00	\$ 5,000,000.00
10	Priority 10 - Landfill Removal	None	\$ 8,000,000.00	\$ 5,000,000.00
11	Priority 11 - Berm Protection	None	\$ 3,000,000.00	\$ 1,500,000.00
12	Priority 12 - Riverside Park Enhancement	None	\$ 2,000,000.00	\$ 1,000,000.00
13	Priority 13 - Land Acquisition	None	\$ 6,000,000.00	\$ 5,000,000.00
14	Priority 14 - Retention and Stormwater Construction	None	\$ 7,000,000.00	\$ 5,000,000.00
15	Priority 15 - River Corridor	None	\$ 2,000,000.00	\$ 500,000.00
NR	Eliminate Health Hazards - WW Portolets, Plumbing	EVANS01/23	\$ 264,150.33	\$ 33,018.79
NR	Emergency Protective Measures Cat A and B	EVANS04/294	\$ 201,848.25	\$ 25,231.03
NR	Emergency Protective Measures Security Fencing	EVANS23/107	\$ 105,090.00	\$ 13,136.25
NR	Debris Removal Cat A and B, Pilot Project	EVANS03/617	\$ 76,687.42	\$ 6,627.18
NR	ICT Cat A and B	EVANS02/22	\$ 24,855.29	\$ 3,106.91
<b>TOTALS</b>			<b>\$ 74,813,910.81</b>	<b>\$ 29,150,280.10</b>

Notes: Priorities 1 - 8 are all Public Assistance Projects with the exception of the Generator Match.

Notes: Priorities 9-16 are all new projects that have resulted from the flood, and are all related to Public Assistance projects, but are not Public Assistance Eligible

Notes: City of Evans assumed that the unranked NOI's are all "covered" by Donated Resources based on an eventual State reimbursement of the 12.5%. Based on information from the State, these should not be priority items.

