



Planning Commission

Regular Meeting

6:00 p.m., Tuesday,

March 22, 2016

Evans Community Complex – 1100 37th Street

City Council Chambers

Planning and Zoning packets are prepared several days prior to the meetings. This information is reviewed and studied by the Commission, eliminating lengthy discussions to gain basic understanding. Timely action and/or short discussion on agenda items do not reflect lack of thought or analysis. An informational packet is available for public inspection on the website at www.evanscolorado.gov

Planning Commission Members:

Chairman: Robert Phillips III

Vice Chairman: Deborah Linn

Julie Lowe

Laura Speer

Billy Castillo

Staff:

Fred Starr, Director of Public Works

Sean Wheeler, City Planner

Patricia Lentell, Administrative Specialist

AGENDA

I. Meeting Call to Order

II. Roll Call

III. Approval of the Agenda

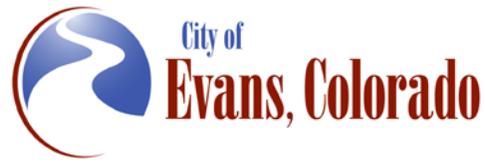
IV. New Business:

A. Bella Vista Manufactured Home District, Planned Unit Development (PUD) Rezoning and Preliminary and Final Plat

B. Vintage Villas PUD Amendment

IV. Reports by Staff: Update on pending development applications and Council Activity.

V. Adjourn



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BELLA VISTA



February 29, 2016

Sean Wheeler
City of Evans
1100 37th Street
Evans, Colorado 80620

RE: Bella Vista Plat Review
Olsson Project Number 015-1283.500

Dear Mr. Wheeler,

We are providing this review letter for Bella Vista Subdivision Plat per your request. We have reviewed the content of the plat against standard surveying practices and the City of Evans requirements to ensure the plat is complete and correct to the best of our knowledge. The following comments pertain to the plat provided to Olsson on February 17, 2016 prepared by EMK Consultants, Inc. Redlined comments are also attached.

1. The Certificate of Dedication and Ownership refers to the City of Erie rather than the City of Evans. Please correct.
2. Please correct the sheet numbering to be three total sheets in the title block.
3. Please include Owner(s) names and addresses.
4. Please seal with stamp, signature, and date on all pages of the plat per Bylaws and Rules of the State Board of Licensure for Architects, Professional Engineers, and Professional Land Surveyors Chapter 6, Section 1.2, Subsection (a).
5. Please shift text or mask lines so text is unobstructed by line work to ensure clarity.
6. Please review lot sizes as it appears that lot area does not match the product of the distances labeled.
7. Please label streets with approved names not just Street A, B, C, etc.
8. Please label all block dimensions, not just the interior, smaller lot dimensions.
9. All curves need to have radius, length, and delta labeled.
10. What are Tracts, B, C, D, E, F, G, H and I being reserved for? Is there a dedication being made such as for drainage, access, or any other? Please indicate if a use is to be dedicated.

Sean Wheeler
Page 2
February 29, 2016

11. Will Tract A also require a utility easement for any water, sewer, or other utility?
12. Street F should connect to the Right-of-Way of 37th street at a 90 degree angle.
13. Please explain how Street C will be kept separate from 37th Street?

Please feel free to contact me if you have any questions about our review comments.

Sincerely,



Amber Kauffman, PE, CFM
Group Leader

Cc: Fred Starr, Public Works Director

BELLA VISTA SUBDIVISION
 A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 20,
 TOWNSHIP 5 NORTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN
 CITY OF EVANS, COUNTY OF WELD, STATE OF COLORADO
 5.9242 ACRES – 52 LOTS / 9 TRACTS
 FP _____



VICINITY MAP

SCALE: 1"=600'

SHEET INDEX

- 1 COVER SHEET
- 2 OVERALL BOUNDARY
- 3 FINAL PLAT LAYOUT

CERTIFICATE OF DEDICATION AND OWNERSHIP

KNOW BY ALL MEN THESE PRESENTS THAT THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, OR LIEN HOLDERS OF CERTAIN LANDS IN THE TOWN OF ERIE, COUNTY OF WELD, COLORADO, DESCRIBED AS FOLLOWS:

LOTS 43, 44, 45, 46 AND 47 IN THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 5 NORTH, RANGE 65 WEST OF THE 6TH P.M., AS SUBDIVIDED BY THE ST. LOUIS WESTERN COLONY, COUNTY OF WELD, STATE OF COLORADO,

TOGETHER WITH ALL THAT PART OF VACATED TERRYALL STREET ADJACENT TO LOTS 43 AND 47, AS VACATED BY ORDINANCE NO. 132 RECORDED FEBRUARY 15, 1961 IN BOOK 1577 AT PAGE 512 AND RE-RECORDED FEBRUARY 23, 1961 IN BOOK 1578 AT PAGE 269.

AND

OUTLOT A, HEATHERWAY SUBDIVISION, CITY OF EVANS, COUNTY OF WELD, STATE OF COLORADO.

AND

THE EAST 10 FEET OF TRINIDAD STREET ADJOINING LOTS 45, 46 AND 47 AND OUTLOT A AS VACATED BY ORDINANCE 1160-99 ON FEBRUARY 23, 2000 (AS SET FORTH ON DEED RECORDED SEPTEMBER 26, 2002 AT RECEPTION NO. 2990813).

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, TRACTS, STREETS AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND SUBDIVISION OF BELLA VISTA. THE STREETS AND TRACTS SHOWN HEREON ARE PRIVATELY OWNED, TO BE MAINTAINED BY THE OWNER. EASEMENTS SHOWN HEREON ARE DEDICATED AND CONVEYED TO

OWNER SIGNATURE

3610 TRINIDAD LLC

BY: _____ DATE _____

TITLE: _____

STATE OF COLORADO)
) SS.
 COUNTY OF _____)

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ BY _____ AS _____

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

BASIS OF BEARINGS

THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 5 NORTH, RANGE 65 WEST OF THE 6TH P.M.: ASSUMED TO BEAR S89°34'14"W, WITH ALL OTHER BEARINGS RELATIVE THERETO, BOTH ENDS OF SAID LINE ARE MONUMENTED AS SHOWN HEREON.

NOTES

1. NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUE 18-4-508 OF THE COLORADO REVISED STATUTES.
3. THE LINEAL UNIT USED IN THE PREPARATION OF THIS PLAT IS THE U.S. SURVEY FOOT AS DEFINED BY THE UNITED STATES DEPARTMENT OF COMMERCE, NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY.
4. ACCORDING TO FLOOD INSURANCE RATE MAP 08123C1543E, EFFECTIVE DATE JANUARY 20, 2016, SUBJECT PROPERTY LIES PARTIALLY IN ZONE X "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD", AND PARTIALLY IN ZONE X "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", AS SHOWN.
5. (NOTE: ALL LOTS, TRACTS AND PRIVATE ROADS HAVE A DRAINAGE EASEMENT FOR DEVELOPMENT...) WE COULD NOT FIND AN EXAMPLE OF SUCH NOTE ON ANY OF THE WELD COUNTY PLATS WE HAVE. COULD YOU PROVIDE A STANDARD NOTE, ALSO SPECIFY WHETHER EASEMENT ARE BLANKET OR OF SPECIFIC LOCATION / SIZE.
6. TRACT A IS DEDICATED BY THIS PLAT AS A PRIVATE RIGHT-OF-WAY. A NON-EXCLUSIVE BLANKET EMERGENCY ACCESS EASEMENT IS GRANTED HEREWITH OVER AND ACROSS ALL OF SAID TRACT A.
7. ALL BLOCK CORNER RIGHT-OF-WAY RADII ARE 20.00 FOOT UNLESS SHOWN OTHERWISE.
8. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY EMK CONSULTANTS, INC. TO DETERMINE TITLE OR EASEMENTS OF RECORD. RESEARCH FOR THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH CRS 38-51-106 AND THE RULES OF PROCEDURE AND BOARD POLICY STATEMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS, SPECIFICALLY THOSE BOARD RULES AND POLICY STATEMENTS RELATING TO THE DEPICTION OF EASEMENTS AND RIGHTS OF WAY ON SUBDIVISION PLATS. FOR ALL INFORMATION REGARDING TITLE AND EASEMENTS OR RIGHTS-OF-WAY OF RECORD AND CIVIL COURT ACTIONS OF RECORD, EMK CONSULTANTS, INC. RELIED UPON COMMITMENT FOR TITLE INSURANCE FILE NO. 01330-59222-AMENDMENT NO. C-2, EFFECTIVE DATE AUGUST 18, 2015, AT 8:00 A.M., PREPARED BY STEWART TITLE GUARANTY COMPANY.

**NEED TO INCLUDE OWNER(S)
 NAMES AND ADDRESSES**

TITLE VERIFICATION CERTIFICATE

WE, STEWART TITLE GUARANTY COMPANY, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE OF ALL LAND PLATTED HEREON AND THAT TITLE TO SUCH LAND IS IN THE DEDICATOR(S) FREE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES, EXCEPT AS FOLLOWS:

STEWART TITLE GUARANTY COMPANY
 BY: _____ DATE _____
 TITLE: _____

STATE OF COLORADO)
) SS.
 COUNTY OF _____)

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ BY _____ AS _____

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC
 MY COMMISSION EXPIRES: _____

SURVEYOR'S CERTIFICATE

I, STEPHEN H. HARDING, PLS #29040, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON JANUARY 23, 2016, BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (SECOND ORDER); AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND.



STEPHEN H. HARDING, PLS #29040
 FOR AND ON BEHALF OF
 EMK CONSULTANTS, INC. DATE _____

CLERK & RECORDER CERTIFICATE

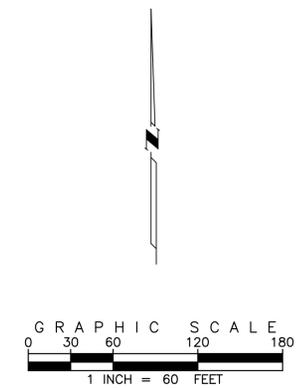
STATE OF COLORADO)
) SS.
 COUNTY OF WELD)
 I HEREBY CERTIFY THAT THIS PLAT WAS FILED IN MY OFFICE ON THIS _____ DAY OF _____, 20____ A.D. AND WAS RECORDED AT RECEPTION NUMBER _____
 _____ COUNTY CLERK AND RECORDER

EMK EMK CONSULTANTS, INC.
 LAND DEVELOPMENT
 ENGINEERING & SURVEYING
 7006 SOUTH ALTON WAY, BLDG. F
 CENTENNIAL, COLORADO 80112-2019
 (303)694-1520 www.EMKC.com
 JOB NO. 12928
BELLA VISTA SUBDIVISION
 DATE PREPARED: FEBRUARY 01, 2016

BELLA VISTA SUBDIVISION
 A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 20,
 TOWNSHIP 5 NORTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN
 CITY OF EVANS, COUNTY OF WELD, STATE OF COLORADO
 5.9242 ACRES - 52 LOTS / 9 TRACTS
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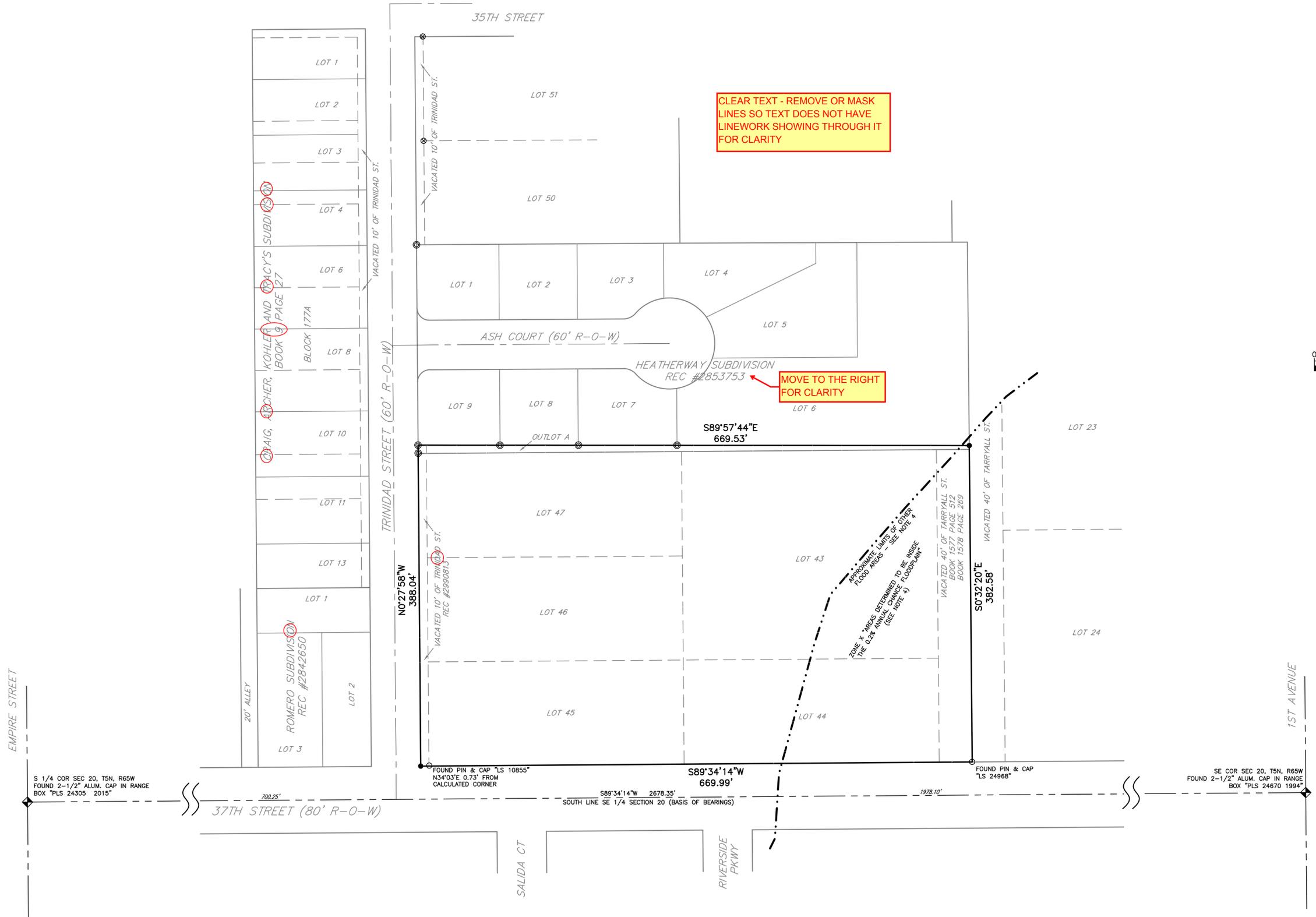
CLEAR TEXT - REMOVE OR MASK
 LINES SO TEXT DOES NOT HAVE
 LINEWORK SHOWING THROUGH IT
 FOR CLARITY

MOVE TO THE RIGHT
 FOR CLARITY



- LEGEND:**
- - SET 18" #5 REBAR WITH 1-1/2" ALUM. CAP "LS 29040"
 - ⊗ - FOUND PIN AND CAP "LS 4392"
 - ⊙ - FOUND PIN AND CAP "LS 7242"
 - - FOUND PIN AND CAP AS DESCRIBED
 - UTILITY EASEMENT

SEAL WITH SIGNATURE AND DATE NEEDED ON ALL PAGES PER "BYLAWS AND RULES OF THE STATE BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS" CHAPTER 6, SECTION 1.2, SUBSECTION (a).



EMK EMK CONSULTANTS, INC.
 LAND DEVELOPMENT
 ENGINEERING & SURVEYING
 7006 SOUTH ALTON WAY, BLDG. F
 CENTENNIAL, COLORADO 80112-2019
 (303)694-1520 www.EMKC.com

BELLA VISTA SUBDIVISION
 DATE PREPARED: FEBRUARY 01, 2016

1101 Bannock Street
Denver, Colorado 80204
303.892.1166



November 12, 2015

Mr. Sean Wheeler
City of Evans, Community Development
1101 37th Street
Evans, CO 80620

Re: Bella Vista: PUD 1st Submittal
Project Description

Dear Mr. Wheeler,

Thank you for the opportunity to present the City of Evans with the Bella Vista PUD application. This application is proposing to redevelop a parcel of property within the City of Evans.

Project Description:

The applicant, Jim Feehan on behalf of the owner, 3610 Trinidad LLC dba Bella Vista MHP, is proposing to redevelop the approximately 5.9 acre site located on the northeast corner of 37th Street and Trinidad Street within the City of Evans and known as Bella Vista for residential uses comprised of single-family manufactured homes.

The site is currently zoned Residential – Manufactured Home (RMH) and was formerly occupied by manufactured residential homes. During the flood of September 2013 all existing homes were destroyed and deemed uninhabitable. The previous homes were demolished and removed from the site. Presently the site is vacant and unused.

The applicant is applying to rezone the site to PUD under the City of Evans municipal code. This use for the PUD will be a new manufactured home community. The all new develop (depicted within the enclosed submittal materials) will be composed of 52 manufactured homes as well as water detention and open space. The redevelopment of Bella Vista would bring the development up to current City of Evans standards. Access is proposed to be off of both Trinidad Street and 37th Street through the previously utilized access points. No internal sidewalks are proposed given the nature of this type of community.

The applicant believes this request to rezone from RMH to PUD is consistent and in conformance with the City's Comprehensive Plan. The comprehensive plan calls for this property to be higher density residential, which is what is proposed.

We appreciate your guidance and look forward to working with you and City of Evans through the review process and the eventual approval of this amendment application. Please feel free to contact me with any questions or concerns.

Sincerely,
Norris Design

A handwritten signature in black ink that reads "Ryan F. McBreen". The signature is fluid and cursive, with the first name "Ryan" and last name "McBreen" clearly legible.

Ryan McBreen
Senior Associate

LEGAL DESCRIPTION

LOTS 43, 44, 45, 46 AND 47, IN THE SE1/4 OF SECTION 20, TOWNSHIP 5 NORTH, RANGE 65 WEST OF THE 6TH P.M., AS SUBDIVIDED BY THE ST. LOUIS WESTERN COLONY, COUNTY OF WELD, STATE OF COLORADO, TOGETHER WITH ALL THAT PART OF VACATED TARRYAL STREET ADJACENT TO LOTS 43 AND 44, AS VACATED BY ORDINANCE NO. 132 RECORDED FEBRUARY 15, 1961 IN BOOK 1577 AT PAGE 512 AND RE-RECORDED FEBRUARY 23, 1961 IN BOOK 1578 AT PAGE 269, AND OUTLOT A, HEATERWAY SUBDIVISION, CITY OF EVANS, COUNTY OF WELD, STATE OF COLORADO, AND THE EAST 10 FEET OF TRINIDAD STREET ADJOINING LOTS 45, 46 AND 47, AND OUTLOT A, AS VACATED BY ORDINANCE NO. 1160-99 ON FEBRUARY 23, 2000 (AS SET FORTH ON DEED RECORDED SEPTEMBER 26, 2002 AT RECEPTION NO. 2990813).

PROJECT NARRATIVE

THE SITE IS CURRENTLY ZONED RESIDENTIAL - MANUFACTURED HOME (RMH) AND WAS FORMERLY OCCUPIED BY MANUFACTURED RESIDENTIAL HOMES. DURING THE FLOOD OF SEPTEMBER 2013 ALL EXISTING HOMES WERE DESTROYED AND DEEMED UNINHABITABLE. THE PREVIOUS HOMES WERE DEMOLISHED AND REMOVED FROM THE SITE. PRESENTLY THE SITE IS VACANT AND UNUSED.

THIS APPLICATION IS TO REZONE THE SITE TO PUD UNDER THE CITY OF EVANS MUNICIPAL CODE. THIS USE FOR THE PUD WILL BE A NEW MANUFACTURED HOME COMMUNITY. THE NEW DEVELOPMENT (DEPICTED WITHIN THE ENCLOSED SUBMITTAL MATERIALS) WOULD BE COMPOSED OF 52 MANUFACTURED HOMES AS WELL AS WATER DETENTION AND OPEN SPACE. THE REDEVELOPMENT OF BELLA VISTA WOULD BRING THE DEVELOPMENT UP TO CURRENT CITY OF EVANS STANDARDS. ACCESS IS PROPOSED TO BE OFF OF BOTH TRINIDAD STREET AND 37TH STREET THROUGH THE PREVIOUSLY UTILIZED ACCESS POINTS.

CITY OF EVANS LANDSCAPING NOTES

- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES THAT WILL REMAIN AS OUTLOTS, OPEN SPACE, DETENTION PONDS, FOREBAYS, OR TRAILS SHALL RECEIVE 4 INCHES OF TOP SOIL AND SHALL BE SEEDED. SOIL PREPARATION, FERTILIZER, COMPOST, SEEDING, AND MULCHING WILL BE REQUIRED.
- ALL PLANTINGS REQUIRED SHALL UTILIZE THE CITY OF EVANS PARKS AND RECREATION APPROVED LANDSCAPING PLANTING LIST.
- ALL SEEDING SHALL UTILIZE THE CITY OF EVANS IRRIGATION DESIGN GUIDELINES AND LAWN AND GRASS SPECIFICATIONS SECTION 02930.
- GRASS SEED SHALL BE PLANTED WITH A GRASS SEED DRILL (NOT A GRAIN DRILL) AT A DEPTH OF 1/2" TO 3/4". BROADCAST SEEDING OF GRASS SEED IS NOT ACCEPTABLE. STRAW MULCH SHALL BE SPREAD AND CRIMPED INTO THE SOIL AT A RATE OF 4,000 LBS/ACRE. HYDROSEEDING AND HYDROMULCHING IS ACCEPTABLE IN LIEU OF DRILL SEEDING AND CRIMPING OF MULCH STRAW, ONLY IN AREAS THAT ARE INACCESSIBLE TO LANDSCAPING EQUIPMENT, AND MUST BE APPROVED BY THE CITY OF EVANS PRIOR TO USE.
- ALL PLANTINGS REQUIRED BY THE PLANNING DIVISION APPROVED LANDSCAPING PLAN SHALL UTILIZE THE CITY OF EVANS PARKS AND RECREATION APPROVED LANDSCAPING PLANTING LIST.
- ALL SEEDING REQUIRED BY EITHER THE CITY OF EVANS ENGINEERING DIVISION, OR PLANNING DIVISION SHALL UTILIZE THE CITY OF EVANS PARKS AND RECREATION IRRIGATION DESIGN GUIDELINES.
- SOIL IN AREAS INTENDED FOR PLANTINGS SHALL FIRST BE AMENDED ACCORDING TO CITY OF EVANS STANDARDS IN ORDER TO LOOSEN COMPACTED SOIL, IMPROVE THE VIABILITY OF PLANTINGS AND REDUCE THE AMOUNT OF WATERING REQUIRED. ROCK MULCH OR GRAVEL SHALL NOT BE PLACED WITHIN TWO (2) FEET OF REQUIRED TREES.

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE CITY OF EVANS, COUNTY OF WELD AND STATE OF COLORADO DESCRIBED HEREIN.

TRINIDAD LLC DBA: BELLA VISTA MHP

SIGNED THIS _____ DAY OF _____, 20____

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____,

20____ BY _____ AS _____ OF TRINIDAD LLC.DBA: BELLA VISTA MHP

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

STATEMENT FOR CIVIL ENGINEER

I, _____, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL CITY OF EVANS PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER

DATE

CITY OF EVANS GENERAL CONSTRUCTION NOTES

- ALL CONTRACTORS AND SUBCONTRACTORS SHALL HAVE A SET OF APPROVED CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
- THE GENERAL CONTRACTOR SHALL CALL THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-(800)-922-1987, OR THE NATIONWIDE UTILITY CONTACT NUMBER (811), TO REQUEST LOCATES OF ALL UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITY.
- ALL VERTICAL AND HORIZONTAL DATUM INFORMATION SHOULD BE OBTAINED USING THE EVANS GEODETIC SURVEY CONDUCTED BY ALBERS, DREXEL & POHLY, INC. JANUARY 9, 1998. A COPY OF FINAL COORDINATES, ELEVATIONS, AND MONUMENT DESCRIPTIONS CAN BE OBTAINED BY CONTACTING THE CITY OF EVANS ENGINEERING DIVISION AT (970) 475 1113.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATIONS AND PROTECTION OF ALL EXISTING UTILITIES SHOWN, ALL EXISTING UTILITIES NOT SHOWN, AND ALL PROPOSED UTILITES ON THESE PLANS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ADJACENT IMPROVEMENTS FROM DAMAGE AND EROSION. ANY ADJACENT IMPROVEMENT DAMAGED DURING CONSTRUCTION SHALL, AT A MINIMUM, BE RESTORED TO A STATE EQUAL TO ITS PRECONSTRUCTION STATE.
- THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO COMPLETE WORK, AND SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- IDENTIFYING THE NEED FOR A PERMIT, PREPARING THE APPLICATION, AND PAYING THE SUBMITTAL AND REVIEW FEES NECESSARY TO SECURE PERMITS WILL BE THE TOTAL RESPONSIBILITY OF THE GENERAL CONTRACTOR. A COPY OF ALL PERMITS MUST BE ON SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR STORM WATER DISCHARGE, ASSOCIATED WITH CONSTRUCTION ACTIVITY. FOR INFORMATION, CONTACT THE COLORADO DEPARTMENT OF PUBLIC HEALTH, AND ENVIRONMENT, WATER QUALITY CONTROL DIVISION, SOCD-PE-B2, 4300 CHERRY CREEK DRIVE SOUTH, DENVER, COLORADO 80246-1530, ATTENTION PERMITS AND ENFORCEMENT SECTION. (303) 692-3500. THE WATER QUALITY PERMITTING PAGE CAN BE ACCESSED AT WWW.CDPHE.STATE.CO.US/WQ/PERMITS/UNIT/WQCDPMT.HTML.
- IF DEWATERING IS TO BE USED, THEN A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED IF DISCHARGE IS INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH, OR ANY WATERS OF THE UNITED STATES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL SOILS REPORT AND PAVEMENT DESIGN REPORT, PRODUCED, OR REFERENCED FOR THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL PERFORM THE WORK ACCORDING TO ALL CITY, COUNTY, STATE, AND FEDERAL SAFETY AND HEALTH REGULATIONS. IN PARTICULAR, THE "TRENCHING" AND "OPEN EXCAVATION" OPERATIONS SHALL COMPLY WITH ALL CURRENT O.S.H.A. REGULATORY REQUIREMENTS.
- ALL WATER LINE, SANITARY SEWER, AND STORM WATER CONSTRUCTION SHALL CONFORM TO THE CITY OF EVANS STANDARDS AND SPECIFICATIONS LATEST REVISION THEREOF. A CURRENT COPY CAN BE DOWNLOADED FROM THE CITY OF EVANS WEBSITE AT WWW.CITYOFEVANS.ORG.
- THE CITY OF EVANS FOLLOWS ALL TRAFFIC CONTROL STANDARDS SET FORTH IN THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
- A TRAFFIC CONTROL PLAN MUST BE SUBMITTED AND APPROVED FOR ANY AND ALL UTILITY WORK PERFORMED WITH THE CITY OF EVANS RIGHT-OF-WAY. TRAFFIC CONTROL PLANS CAN BE FAXED TO THE ENGINEERING DIVISION AT (970) 330-3472.
- ALL STREET LIGHTING SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE CITY OF EVANS RESIDENTIAL NEIGHBORHOOD DESIGN STANDARDS.
- ALL PLANTINGS SHALL UTILIZE THE CITY OF EVANS PARKS AND RECREATION APPROVED LANDSCAPING PLANTING LIST.
- ALL SEEDING SHALL UTILIZE THE CITY OF EVANS IRRIGATION DESIGN GUIDELINES AND THE LAWN AND GRASS SPECIFICATIONS SECTION 02930.
- ALL WORK INCLUDING WARRANTY WORK, SHALL BE INSPECTED BY A CITY REPRESENTATIVE WHO SHALL HAVE AUTHORITY TO HALT CONSTRUCTION WHEN PROPER CONSTRUCTION PRACTICES ARE NOT BEING ADHERED TO.
- THERE SHALL BE NO WORK PERFORMED ON THE WEEKENDS, OR HOLIDAYS EXCEPT BY APPROVAL OF THE CITY OF EVANS WITH A MINIMUM OF 24 HOURS NOTICE.
- THE GENERAL CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING PRIOR TO ANY DISRUPTION IN SERVICE. THE NOTICES MUST HAVE THE GENERAL CONTRACTORS PHONE NUMBER AND THE NAME OF A CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOUR CALLS. NOTICES SHALL NOT BE LEFT IN MAILBOXES UNLESS PROPERLY SENT THROUGH THE U.S. POST OFFICE.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THEIR OWN DISPOSAL SITE FOR ALL DISPOSED MATERIALS.
- THE ENGINEER WHO HAS PREPARED THESE PLANS, BY EXECUTION AND/OR SEAL HEAROF DOES HEREBY AFFIRM RESPONSIBILITY TO THE CITY OF EVANS, AS A BENEFICIARY OF SAID ENGINEER'S WORK, FOR ANY ERRORS OR OMISSIONS CONTAINED IN THESE PLANS. ACCEPTANCE OF THESE PLANS BY THE CITY OF EVANS SHALL NOT RELIEVE THE ENGINEER WHO HAS PREPARED THESE PLANS OF SUCH RESPONSIBILITY.

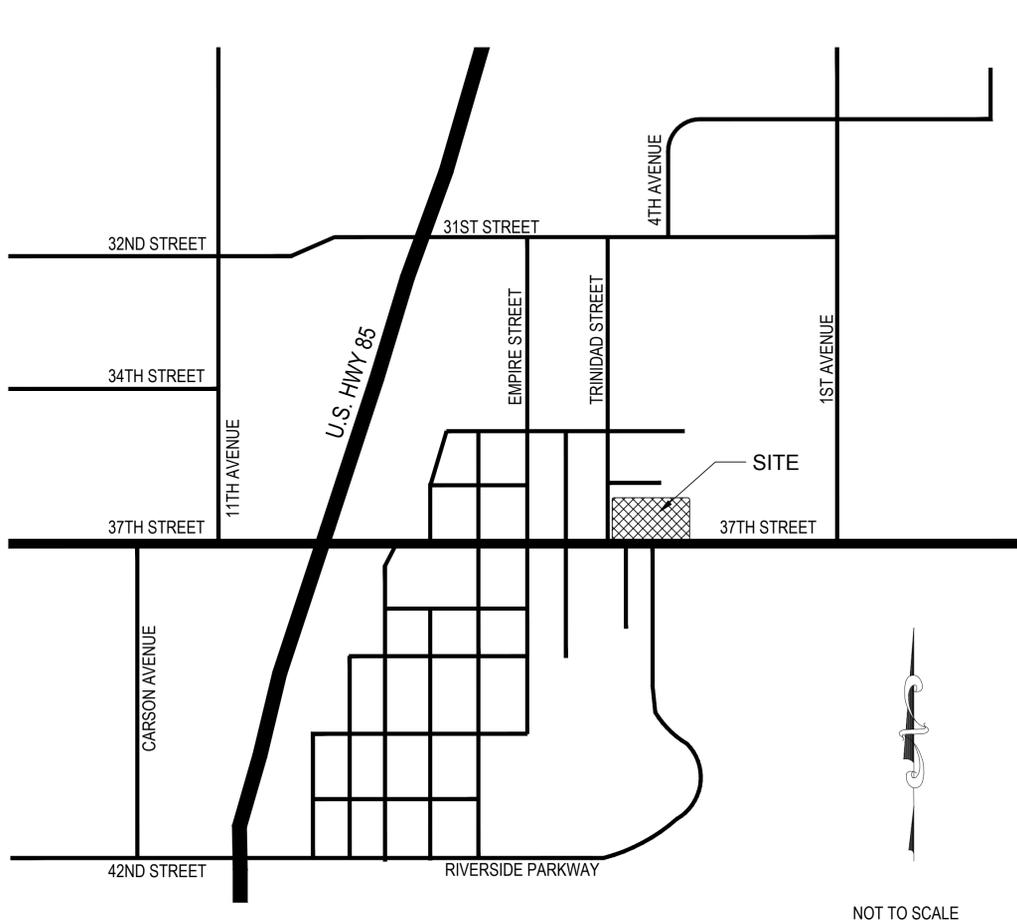
SURVEYOR'S CERTIFICATE

I, _____, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR

DATE

VICINITY MAP



TRACT USE CHART

TRACT	AREA (SF)	AREA (AC)	USE	OWNER / MAINTENANCE
TRACT A	57,318	1.316	PRIVATE STREET	PRIVATE
TRACT B	1,704	.039	OPEN SPACE	PRIVATE
TRACT C	488	.011	OPEN SPACE	PRIVATE
TRACT D	3,268	.075	OPEN SPACE	PRIVATE
TRACT E	906	.021	OPEN SPACE	PRIVATE
TRACT F	751	.017	OPEN SPACE	PRIVATE
TRACT G	3,157	.072	OPEN SPACE	PRIVATE
TRACT H	22,310	.512	DRAINAGE / OPEN SPACE	PRIVATE
TRACT I	2,707	.062	OPEN SPACE	PRIVATE
TRACT J	995	.023	OPEN SPACE	PRIVATE
TOTAL	93,604	2.148		

TYPICAL LOT SIZE

LOT TYPE	AREA (SF)
STANDARD MANUFACTURED HOME	3,096'

CITY OF EVANS APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE CITY OF EVANS, COLORADO ON THE _____ DAY OF _____, 20____.

CITY OF EVANS

SHEET INDEX

- C-0.00 COVER SHEET
- C-1.00 PUD SURVEY PLAT
- C-1.01 SITE PLAN
- C-1.02 UTILITY AND GRADING PLAN
- C-1.03 EXISTING CONDITIONS & SURVEY MAP
- L-1.00 CONCEPTUAL LANDSCAPE PLAN
- L-1.01 LANDSCAPE DETAILS
- S-1.00 COMPREHENSIVE SIGN PLAN
- I-1.00 IRRIGATION NOTES
- I-1.01 CONCEPTUAL IRRIGATION PLAN
- I-2.00 IRRIGATION DETAILS
- I-2.01 IRRIGATION DETAILS

PROJECT TEAM

Applicant:
 3610 Trinidad LLC
 DBA: Belle Vista MHP
 PO Box 202319
 Denver, CO 80220
 720-201-5665
 Jim Feehan
 jim.feehan@cfoadvisorygroup.net

Landscape Architect / Planner:
 Norris Design
 c/o Leanne Vielehr
 1101 Bannock St.
 Denver, CO 80204
 303.892.1166

Civil Engineer:
 Calibre Engineering
 c/o Todd Johnson
 9090 South Ridgeline Blvd. #105
 Highlands Ranch, CO 80129
 303.730.0434



1101 Bannock Street
 Denver, Colorado 80204
 P 303.892.1166
 F 303.892.1186

BELLA VISTA
 PLANNED UNIT DEVELOPMENT
 EVANS, COLORADO

OWNER:
 3610 Trinidad LLC
 DBA: Belle Vista MHP
 PO Box 202319
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 Jim Feehan

NOT FOR CONSTRUCTION



Know what's below.
 Call before you dig.

DATE:
 PUD - 8/20/2015
 PUD - 11/11/2015

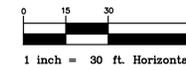
SHEET TITLE:
 COVER SHEET

C-0.00

OWNER: SCHANTZ, JACOB L
 OWNER: HAM, LOIS M
 OWNER: CORRELL, JARED A
 OWNER: SHIRONAKA, GARY
 OWNER: SLIVKANCH, PETER P
 OWNER: HITZ INVESTMENTS, LL

OWNER: GANSKOW, DANIEL F

OWNER: BIRTS, JAMES R.



LEGEND

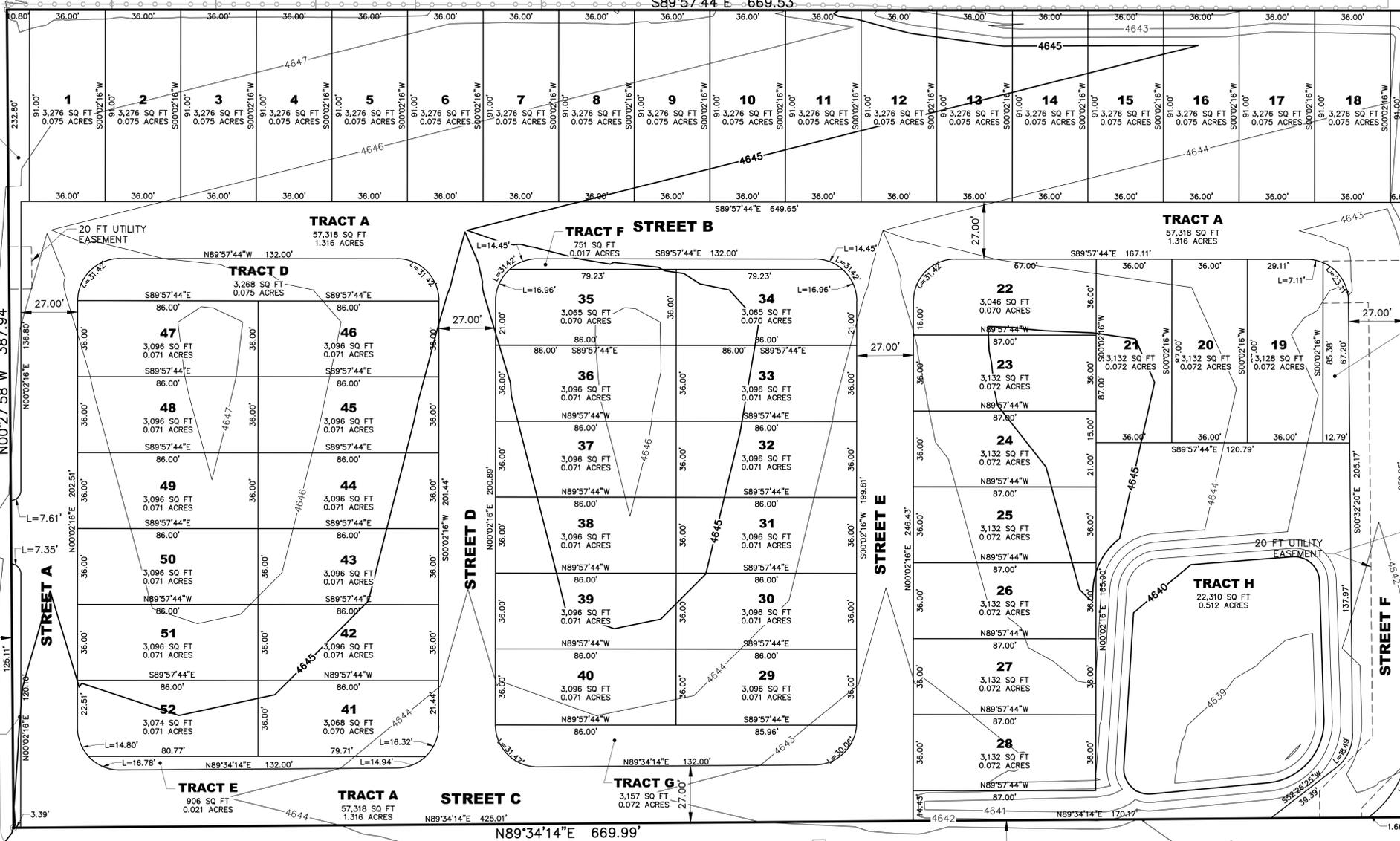
- ROW/PROPERTY LINE ————
- CENTERLINE - - - - -
- PROPERTY BOUNDARY ————
- SETBACK - - - - -
- EASEMENT - - - - -

TRACT B
 1,704 SQ FT
 0.039 ACRES

TRACT I
 2,707 SQ FT
 0.062 ACRES

TRACT J
 995 SQ FT
 0.023 ACRES

TRINIDAD STREET



60.00' R.O.W.

TRACT C
 488 SQ FT
 0.011 ACRES

OWNER: BIRTS, JAMES R.

BELLA VISTA
 PRE-APP SITE PLAN
 EVANS, COLORADO

OWNER:
 3610 Trinidad LLC
 DBA: Bella Vista MHP
 PO Box 202319
 Denver, CO 80220
 720-201-5685
 Jim Feehan

37TH STREET

80.00' R.O.W.

NOTES:

- 1) TRACT A IS FOR UTILITY AND PUBLIC ACCESS PURPOSES.
- 2) TRACTS B, C, E, F AND I ARE FOR LANDSCAPING PURPOSES.
- 3) TRACTS D AND G ARE FOR PUBLIC ACCESS AND LANDSCAPING PURPOSES.
- 4) TRACT J IS FOR UTILITIES, PUBLIC ACCESS AND MAIL KIOSK PURPOSES.
- 5) TRACT H IS FOR DRAINAGE, PUBLIC ACCESS AND LANDSCAPING PURPOSES.

BENCHMARK:

CITY OF EVANS CONTROL NETWORK, ALUMINUM DISK IN TOP OF OUTLET STRUCTURE IN DETENTION POND, SOUTH OF SITE. ELEVATION = 4644.51 (NAVD88 DATUM)

BASIS OF BEARINGS:

COORDINATES AND BEARINGS ARE BASED ON THE CITY OF EVANS CONTROL NETWORK. THE SOUTH LINE OF THE SOUTHEAST ¼ OF SECTION 20, BEARING AT N 89°34'14" E, IS THE BASIS OF BEARINGS FOR THIS DOCUMENT.

LEGAL DESCRIPTION:

LOTS 43, 44, 45, 46 AND 47 IN THE SOUTHEAST ¼ OF SECTION 20, TOWNSHIP 5 NORTH, RANGE 65 WEST OF THE 6TH P.M., AS SUBDIVIDED BY THE ST. LOUIS WESTERN COLONY, COUNTY OF WELD, STATE OF COLORADO,

TOGETHER WITH ALL THAT PART OF VACATED TERRYALL STREET ADJACENT TO LOTS 43 AND 47, AS VACATED BY ORDINANCE NO. 132, RECORDED FEBRUARY 15, 1961 IN BOOK 1577 AT PAGE 512 AND RE-RECORDED FEBRUARY 23, 1961 IN BOOK 1578 AT PAGE 269.

AND OUTLOT A, HEATHERWAY SUBDIVISION, CITY OF EVANS, COUNTY OF WELD, STATE OF COLORADO.

AND THE EAST 10 FEET OF TRINIDAD STREET ADJOINING LOTS 45, 46 AND 47 AND OUTLOT A AS VACATED BY ORDINANCE 1160-99 ON FEBRUARY 23, 2000 (AS SET FORTH ON DEED RECORDED SEPTEMBER 26, 2002 AT RECEPTION NO. 2990813).

Engineer
Calibre

Calibre Engineering, Inc.
 9500 South Ridgeway Boulevard, Suite 105
 Highlands Ranch, CO 80129 (303) 750-0434
 www.calibre-engineering.com

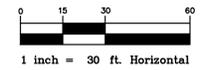
DATE:
 8/20/15 SUBMITTAL
 11/11/15 SUBMITTAL

SHEET TITLE:
 PUD SURVEY
 PLAT

C-1.00

OWNER: SCHANTZ, JACOB L
 OWNER: HAM, LOIS M
 OWNER: CORRELL, JARED A
 OWNER: SHIRONAKA, GARY
 OWNER: SLIVKANICH, PETER P
 OWNER: HITZ INVESTMENTS, LL
 OWNER: GANSKOW, DANIEL F

OWNER: BIRTS, JAMES R.



LEGEND

- ROW/PROPERTY LINE _____
- CENTERLINE _____
- PROPERTY BOUNDARY _____
- SETBACK _____
- EASEMENT _____
- PROP. 4" PRIVATE WATER MAIN (UNLESS NOTED OTHERWISE) — W — W
- PROP. WATER VALVE — X —
- PROP. FIRE HYDRANT — (H) —
- PROP. 8" (PRIVATE) SANITARY SEWER MAIN — (S) —
- PROP. STORM DRAIN — (D) —
- PROP. STORM DRAIN INLET — (DI) —
- SANITARY SEWER MANHOLE NUMBER (16)
- STORM DRAINAGE MANHOLE NUMBER (MH-5)
- EX. GAS MAIN — G — G — G
- EX. WATER MAIN — W — W — W
- EX. WATER VALVE — (X) —
- EX. FIRE HYDRANT — (H) —
- EX. SANITARY SEWERS — (S) —
- EX. STORM DRAIN — (D) —
- EX. STORM DRAIN INLET — (DI) —
- EX. POWER POLE — (P) —
- EX. UNDERGROUND ELECTRIC — E — E — E
- EX. UNDERGROUND TELEPHONE — T — T — T
- EX. FENCE — X — X — X

OWNER: BIRTS, JAMES R.

BELLA VISTA
 PRE-APP SITE PLAN
 EVANS, COLORADO

OWNER:
 3610 Trinidad LLC
 DBA: Bella Vista MHP
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 720-201-5685
 Jim Feehan

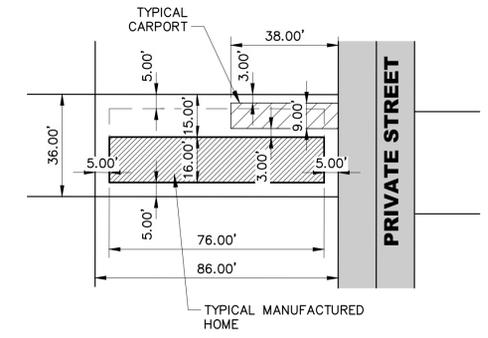
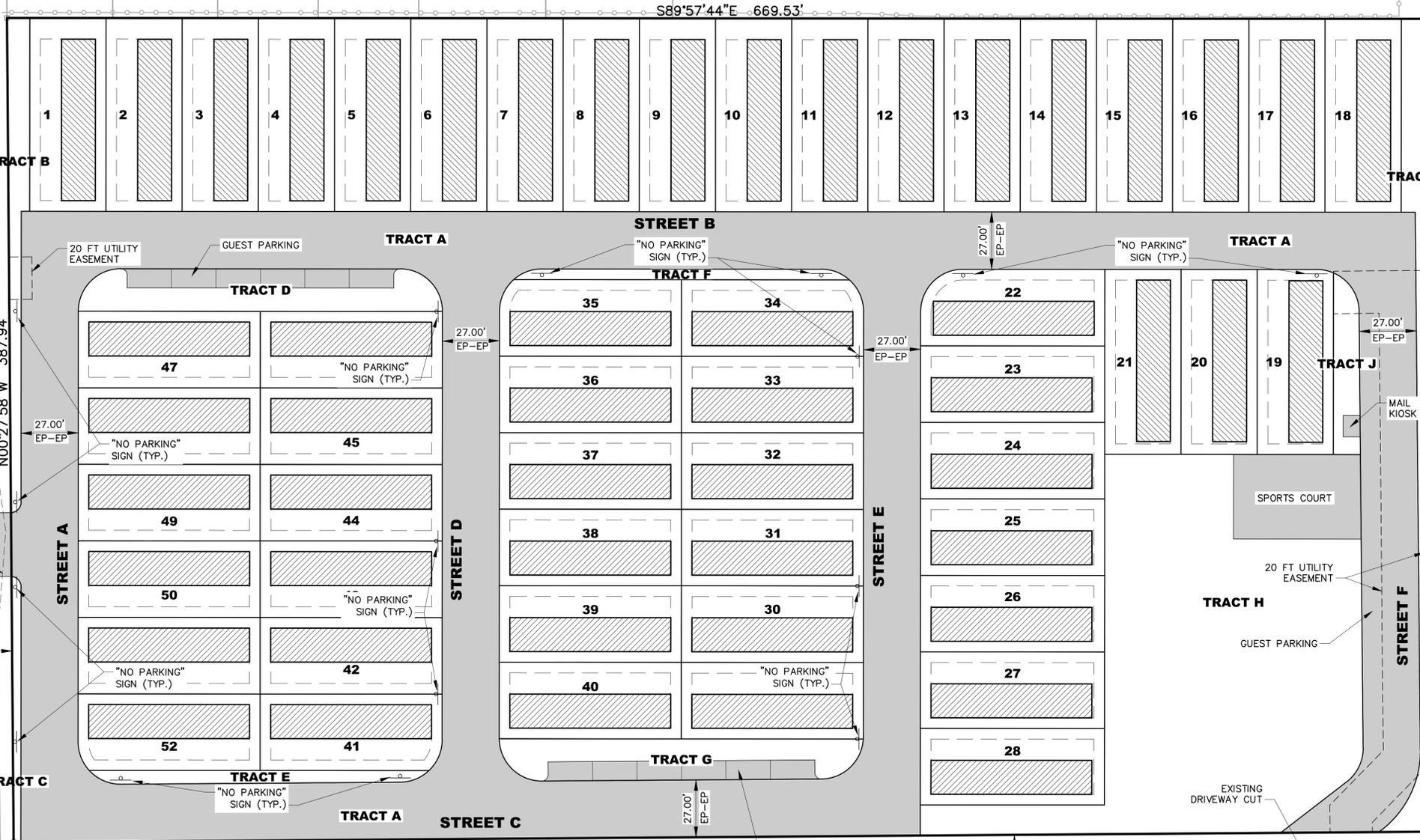
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 www.calibre-engineering.com

DATE:
 8/20/15 SUBMITTAL
 11/11/15 SUBMITTAL

SHEET TITLE:
 SITE PLAN

C-1.01



TYPICAL LOT DETAIL

LEGAL DESCRIPTION:

LOTS 43, 44, 45, 46 AND 47 IN THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 5 NORTH, RANGE 65 WEST OF THE 6TH P.M., AS SUBDIVIDED BY THE ST. LOUIS WESTERN COLONY, COUNTY OF WELD, STATE OF COLORADO, TOGETHER WITH ALL THAT PART OF VACATED TERRYALL STREET ADJACENT TO LOTS 43 AND 47, AS VACATED BY ORDINANCE NO. 132, RECORDED FEBRUARY 15, 1961 IN BOOK 1577 AT PAGE 512 AND RE-RECORDED FEBRUARY 23, 1961 IN BOOK 1578 AT PAGE 269, AND OUTLOT A, HEATHERWAY SUBDIVISION, CITY OF EVANS, COUNTY OF WELD, STATE OF COLORADO, AND THE EAST 10 FEET OF TRINIDAD STREET ADJOINING LOTS 45, 46 AND 47 AND OUTLOT A AS VACATED BY ORDINANCE 1160-99 ON FEBRUARY 23, 2000 (AS SET FORTH ON DEED RECORDED SEPTEMBER 26, 2002 AT RECEPTION NO. 2990813).

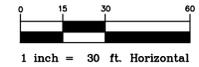
EXISTING ATTACHED WALK
 TRINIDAD STREET
 60.00' R.O.W.
 EXISTING DRIVEWAY CUT
 EXISTING ATTACHED WALK
 EXISTING CURB RAMP

TRACT I
 TRACT J
 STREET F
 MAIL KIOSK
 SPORTS COURT
 20 FT UTILITY EASEMENT
 GUEST PARKING
 EXISTING DRIVEWAY CUT
 SIGHT TRIANGLE
 EXISTING ATTACHED WALK

P:\000\Bella Vista\0000000000\0000000000\0000000000.dwg, 11/11/2015 9:05:27 AM, \$0.00, 1:1

CHECKED BY:
 DRAWN BY:

OWNER:
BIRTS,
JAMES R.



LEGEND

- ROW/PROPERTY LINE
- CENTERLINE
- PROPERTY BOUNDARY
- SETBACK
- EASEMENT
- PROP. 6" PRIVATE WATER MAIN (UNLESS NOTED OTHERWISE)
- PROP. WATER VALVE
- PROP. FIRE HYDRANT
- PROP. 8" (PRIVATE) SANITARY SEWER MAIN
- PROP. STORM DRAIN
- PROP. STORM DRAIN INLET (UNLESS NOTED OTHERWISE)
- SANITARY SEWER MANHOLE NUMBER
- STORM DRAINAGE MANHOLE NUMBER
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- EX. STORM DRAIN INLET
- EX. POWER POLE
- EX. UNDERGROUND ELECTRIC
- EX. UNDERGROUND TELEPHONE
- EX. FENCE

OWNER:
BIRTS,
JAMES R.

BELLA VISTA
PRE-APP SITE PLAN
EVANS, COLORADO

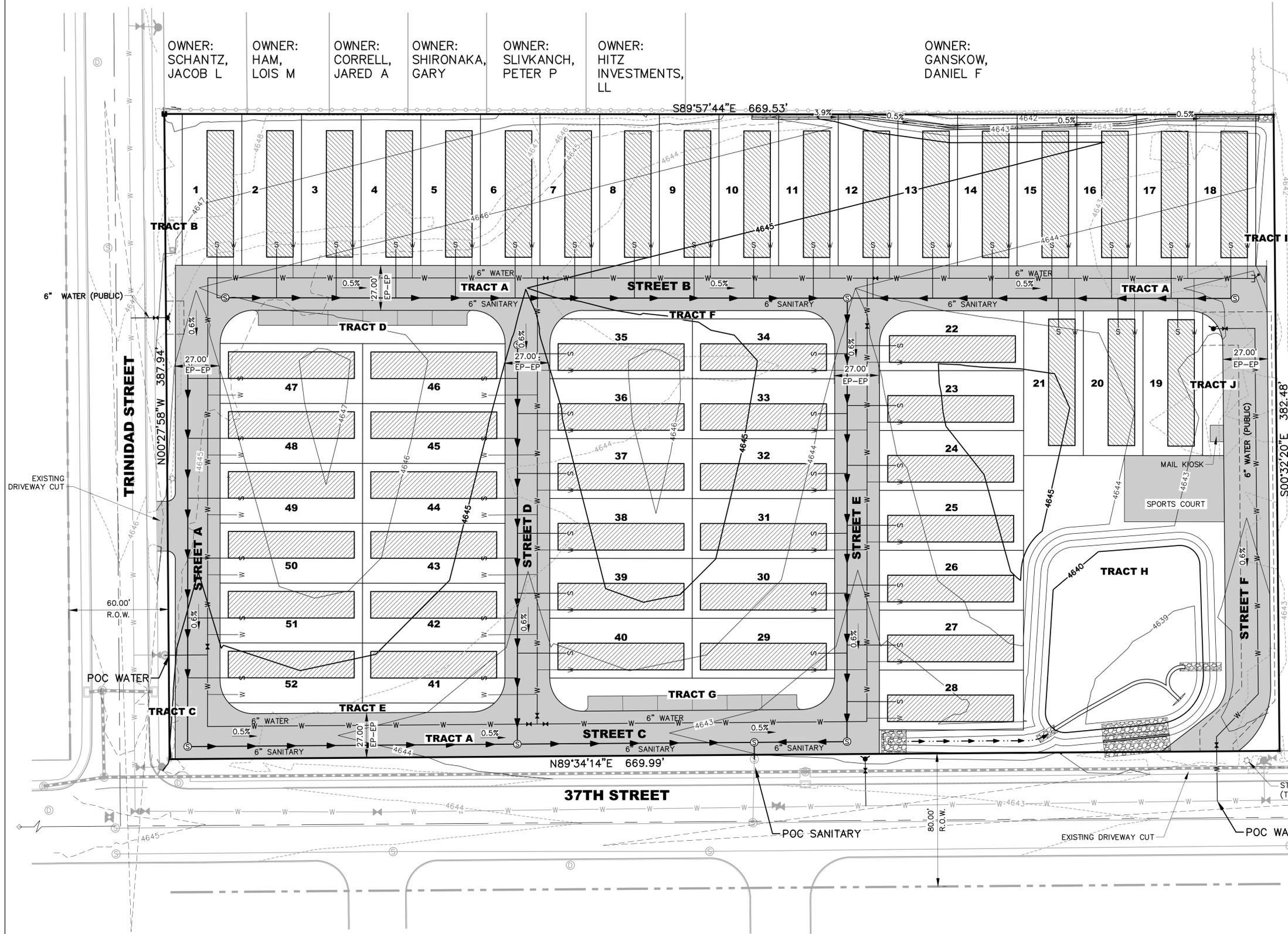
OWNER:
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DATE:
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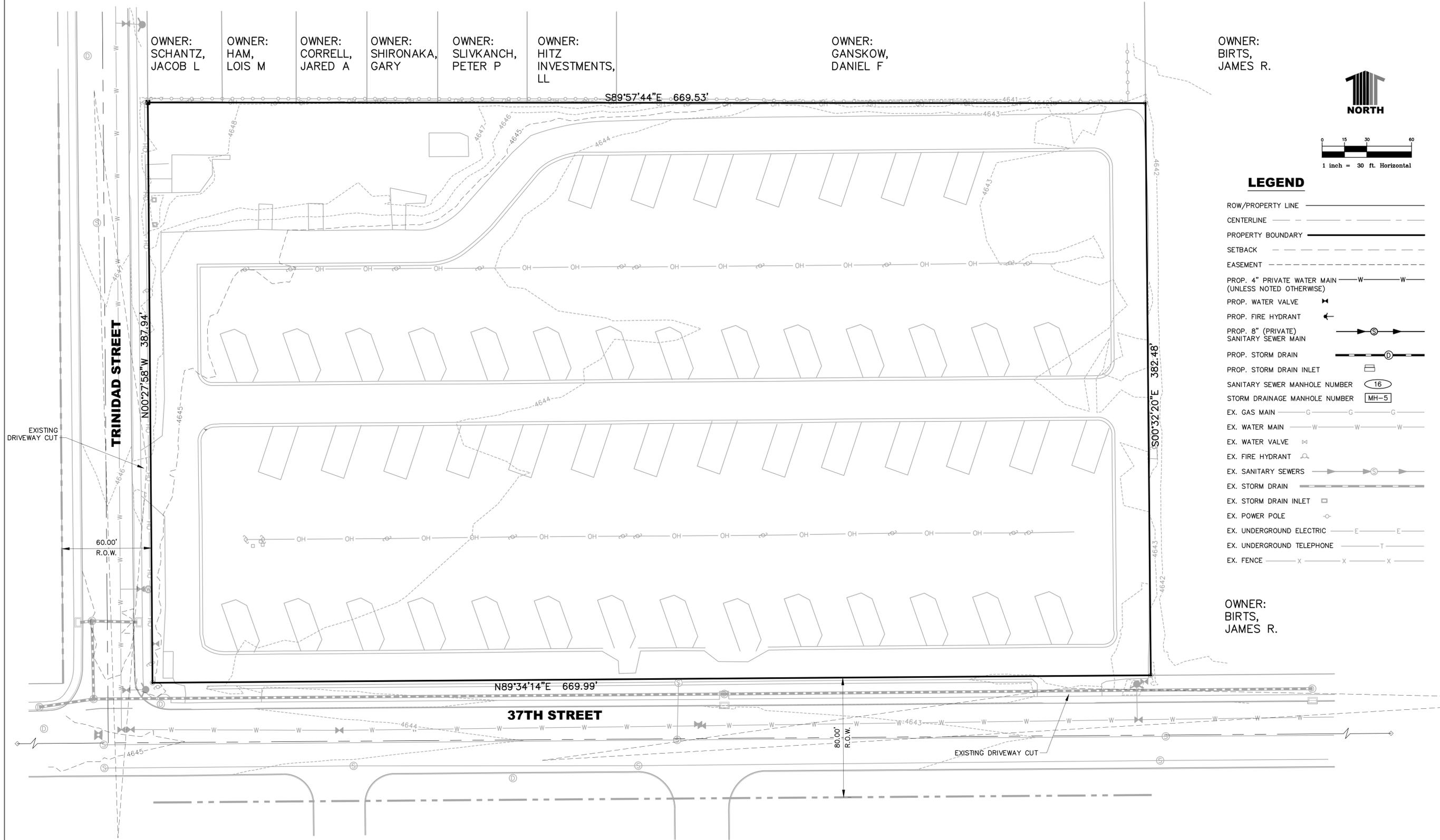
SHEET TITLE:
UTILITY AND
GRADING PLAN

C-1.02



OWNER: SCHANTZ, JACOB L
OWNER: HAM, LOIS M
OWNER: CORRELL, JARED A
OWNER: SHIRONAKA, GARY
OWNER: SLIVKANCH, PETER P
OWNER: HITZ INVESTMENTS, LL
OWNER: GANSKOW, DANIEL F

CHECKED BY:
DRAWN BY:



OWNER:
SCHANTZ,
JACOB L

OWNER:
HAM,
LOIS M

OWNER:
CORRELL,
JARED A

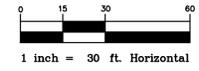
OWNER:
SHIRONAKA,
GARY

OWNER:
SLIVKANICH,
PETER P

OWNER:
HITZ
INVESTMENTS,
LL

OWNER:
GANSKOW,
DANIEL F

OWNER:
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LEGEND

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DATE:
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SHEET TITLE:
EXIST CONDITIONS
& SURVEY MAP

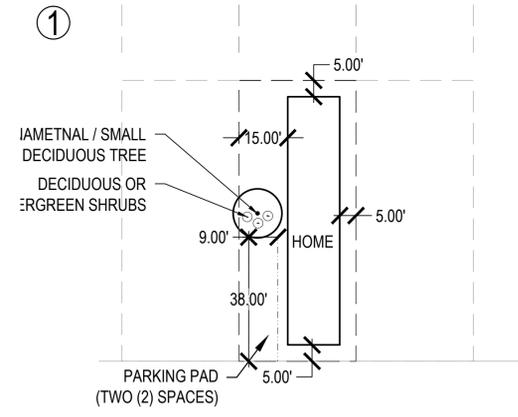
HOME SPACING TABLE

SPACING	STANDARD (MIN.)
HOMES PLACED END-TO-END	10'
HOMES PLACED SIDE-BY-SIDE	20'
HOMES PLACED SIDE-TO-END	15'
PROPERTY LINE	10'

NOTES:

- HOME INCLUDING NONREMOVABLE TOW HITCHES SHALL BE SET BACK AT LEAST FIVE (5) FEET FROM PRIVATE STREETS AND ROADWAYS, AND TWENTY-FIVE (25) FEET FROM PUBLIC RIGHTS-OF-WAY.
- ALL HOMES MUST BE SETBACK MINIMUM FIVE (5) FEET FROM THE LOT LINE.

HOME SITE TYPICALS



NOTES:

- TWO (2) OFF-STREET PARKING SPACES SHALL BE REQUIRED PER HOME, MIN. 9' X 18' PER SPACE.
- EACH HOME SITE TO HAVE ONE (1) ORNAMENTAL TREE AND THREE (3) SHRUBS.
- LOCATION OF REQUIRED PLANT MATERIAL ON EACH HOME SITE SUBJECT TO CHANGE.
- EACH HOME SITE RESPONSIBLE FOR ON LOT LANDSCAPE IRRIGATION.

TREE MITIGATION TABLE

EXISTING TREE	CALIPER INCHES	MITIGATION	TREES PROVIDED
1 EVERGREEN	10"	3	IN COMMON LANDSCAPE AREAS
2 ELM	20"	5	
3 EVERGREEN	15"	4	
4 JUNIPER	10"	3	
5 ELM	14.5"	4	
TOTAL	76"	19 TREES NEEDED	26

NOTES:

- ALL OTHER TREES ON SITE WERE DETERMINED NOT WORTH KEEPING BY THE CITY OF EVANS PARKS SUPERINTENDENT.
- EXISTING TREES ALONG EAST PROPERTY LINE TO REMAIN.

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EVANS, COLORADO

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NOT FOR CONSTRUCTION

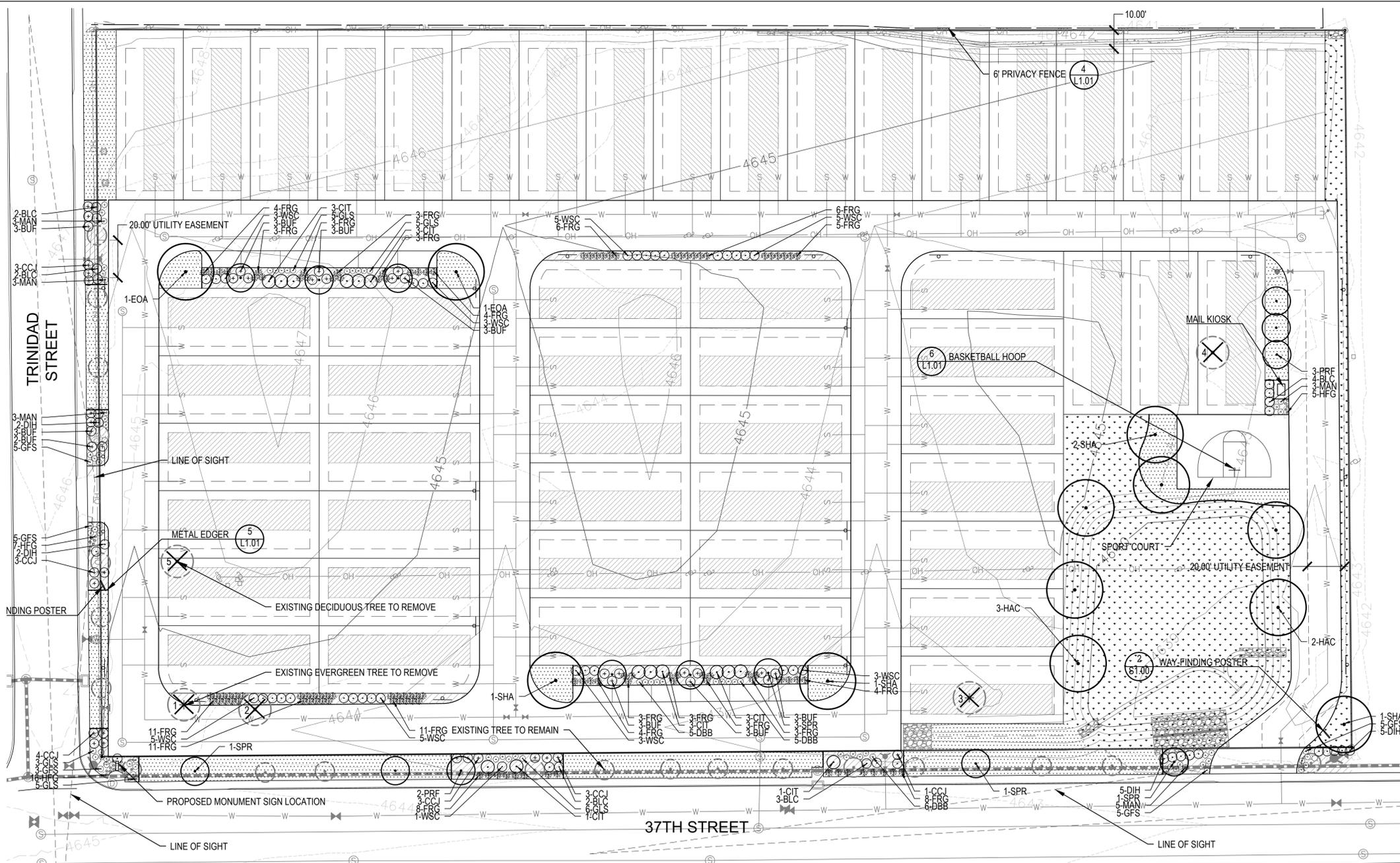


Know what's below.
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DATE:
PUD - 8/20/2015
PUD - 11/11/2015

SHEET TITLE:
CONCEPTUAL
LANDSCAPE PLAN

L-1.00



PLANTING SCHEDULE

SYM.	PLANT NAME (SCIENTIFIC)	PLANT NAME (COMMON)	SIZE & CONDITION	NO. OF PLANTS	WATER USE
DECIDUOUS CANOPY TREES					
EOC	QUERCUS ROBUR 'FASTIGIATA'	ENGLISH COLUMNAR OAK	2 1/2" CAL. B&B	2	LOW
HAC	CELTIS OCCIDENTALIS	WESTERN HACKBERRY	2 1/2" CAL. B&B	5	LOW
SHA	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2 1/2" CAL. B&B	5	LOW
DECIDUOUS ORNAMENTAL TREES					
PRF	MALUS 'PRAIRIEFIRE'	PRAIRIEFIRE CRAB	2" CAL. B&B	5	LOW
SPR	MALUS 'SPRING SNOW'	SPRING SNOW CRAB	2" CAL. B&B	6	LOW
DECIDUOUS SHRUBS					
GLS	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	NO. 5 CONT.	24	LOW
WSC	PRUNUS BESSEYI	WESTERN SAND CHERRY	NO. 5 CONT.	33	LOW
CIT	PRUNUS X CISTENA	CISTENA PLUM	NO. 5 CONT.	14	LOW
BLC	ARONIA MELANOCARPA	BLACK CHOKEBERRY	NO. 5 CONT.	13	LOW
DIH	CORNUS SERICIA 'BAIL HALO'	IVORY HALO DOGWOOD	NO. 5 CONT.	14	LOW
GFS	SPIREA JAPONICA 'GOLDFLAME'	GOLDFLAME SPIREA	NO. 5 CONT.	23	LOW
DBB	EUONYMUS ALATUS 'COMPACTA'	DWARF BURNING BUSH	NO. 5 CONT.	16	LOW
EVERGREEN SHRUBS					
MAN	ARCTOSTAPHYLOS 'PANCHITO'	PANCHITO MANZANITA	NO. 5 CONT.	17	LOW
CCJ	JUNIPERUS SABINA 'MONNA'	CALGARY CARPET JUNIPER	NO. 5 CONT.	17	LOW
BUF	JUNIPERUS HORIZONTALIS 'BUFFALO'	BUFFALO JUNIPER	NO. 5 CONT.	26	LOW
ORNAMENTAL GRASSES					
FRG	CALAMAGROSTIS X ACUTIFOLIUS 'KARL FOERSTER'	FEATHER REED GRASS	NO. 1 CONT.	106	MODERATE
HFG	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF HARDY FOUNTAIN GRASS	NO. 1 CONT.	28	LOW

TURF GRASS BLEND: SOD

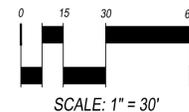
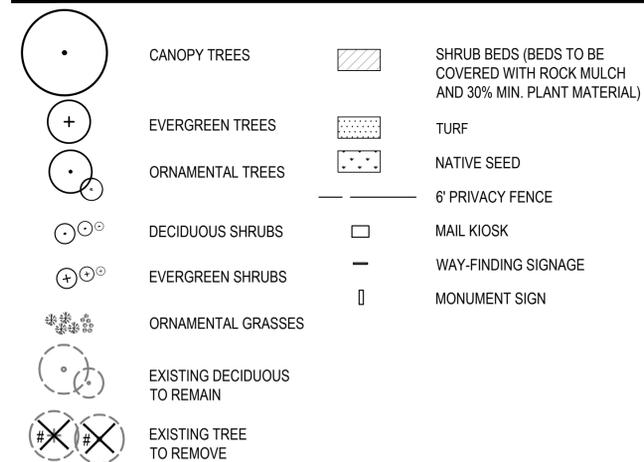
"FRONT RANGE DROUGHT RESISTANT BLEND" BY BITTERSWEET TURF FARMS, INC. OR APPR. EQUAL

COMMON NAME	% OF TOTAL
CREeping RED FESCUE	35%
SR3200 BLUE FESCUE	25%
SR3100 HARD FESCUE	12.5%
REUBENS CANADIAN BLUE	15%
SR5100 CHEWINGS FESCUE	12.5%
TOTAL	100%

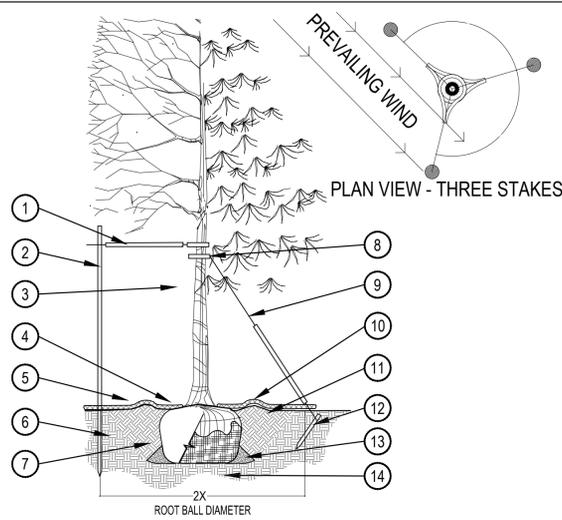
DRYLAND SEED MIX

COMMON NAME	SCIENTIFIC NAME	% OF TOTAL	PLS PER ACRE
WESTERN WHEATGRASS	AGROPYRON SMITHII	28%	6.2 LBS.
BIG BLUESTEM	ANDROPOGON GRARDII	28%	6.2 LBS.
SIDE OATS GRAMA	BOUTELOUA CURTIPENDULA	10%	2.2 LBS.
BLUE GRAMA	BOUTELOUA GRACILIS	6%	1.2 LBS.
SWITCHGRASS	PANICUM VIRGATUM	10%	2.2 LBS.
INDIANGRASS	SORGHASTRUM NUTANS	10%	2.2 LBS.
LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUS	8%	1.8 LBS.
TOTAL	100%	22.0 LBS.	

LEGEND

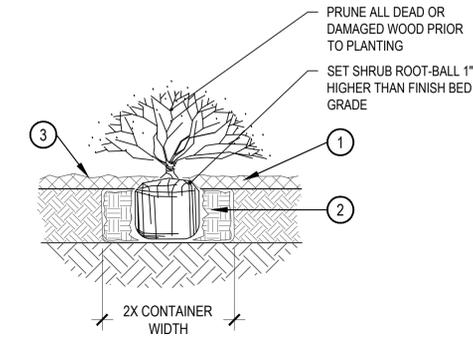


SCALE: 1" = 30'



- PRUNING NOTES:**
- ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
 - DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:**
- STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
 - 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)
 - 1-3/4" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE)
 - 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
 - WIRE OR CABLE SHALL BE MIN. 12 GAUGE. TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

- PLACE MIN. 3/4" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
- 6 FT. UNTREATED WOOD POST (MIN. 1.5" DIAMETER). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.
- TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)
- PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE.
- 3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
- 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
- GROMMETED NYLON STRAPS
- GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.
- 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
- BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING
- 2 FT. STEEL T-POST. ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL.
- PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
- PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.



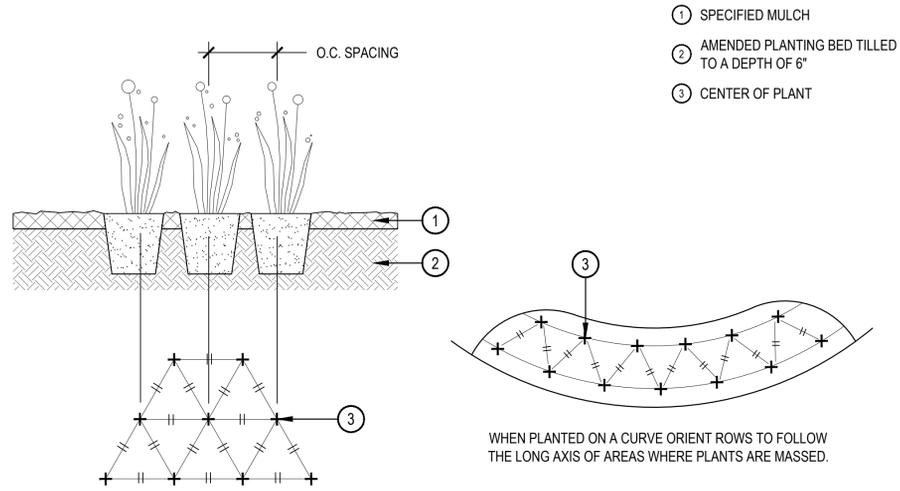
- SPECIFIED MULCH
 - AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS. TILL SOIL TO A DEPTH OF EIGHT INCHES.
 - FINISH GRADE (TOP OF MULCH)
- NOTE:**
- BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED
 - CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER
 - ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER
 - DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER

1 TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"

2 SHRUB PLANTING

SCALE: 1-1/2" = 1'-0"

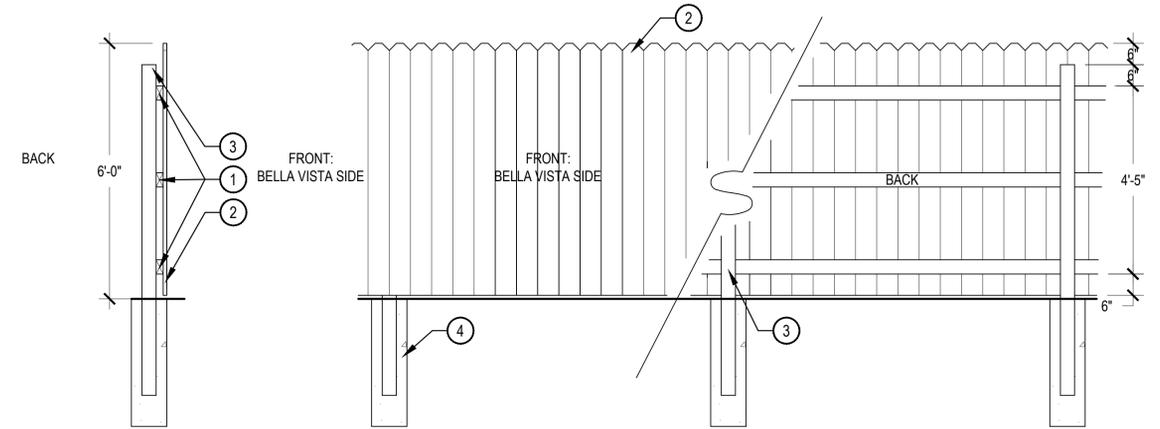


3 PERENNIAL PLANT LAYOUT

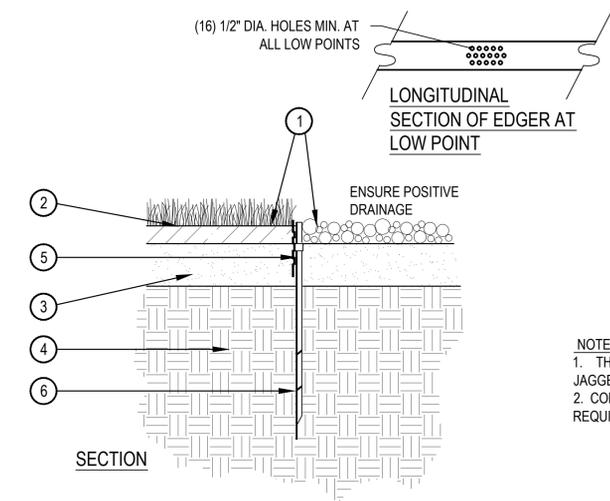
SCALE: 1" = 1'-0"

4 6' PRIVACY WOOD FENCE

SCALE: 1/2" = 1'-0"



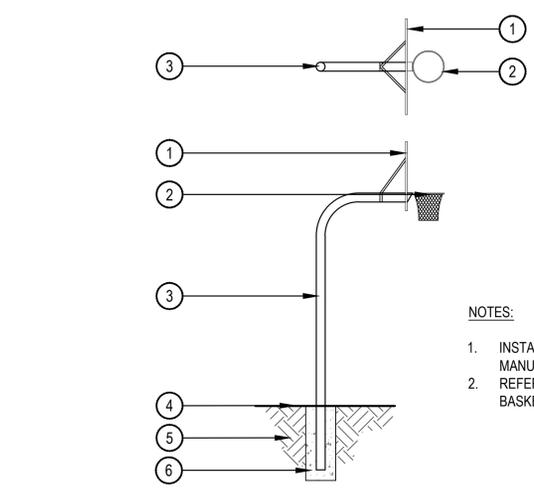
- 2"x4" CEDAR RAILS ON BACK OF FENCE (TOP, MIDDLE, & BOTTOM)
- 1"x6" CEDAR PICKETS WITH "DOG EAR TOPS"
- 4"x4" CEDAR POSTS ON BACK OF FENCE 8' O.C.
- CONC. FOOTING 10" MIN. DIAMETER 36" DEPTH



- FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
- TURF THATCH
 - AMENDED SOIL PER SPECIFICATIONS
 - SUBGRADE
 - METAL EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
 - EDGER STAKE
- NOTES:**
- THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
 - CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

5 METAL EDGER

SCALE: 1" = 1'-0"



- BISON BA495 FAN SHAPED STEEL FRAFFITI-RESISTANT BACKBOARD
- BISON BA32RXT REAR MOUNT FLEX COURT RIM
- BISON BA 780 MEGA DUTY 5 5/8" GALVANIZED GOOSENECK POST
- BASKETBALL COURT SURFACE REF: STRUCTURAL
- COMPACTED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
- FOOTER, REF: STRUCTURAL

- NOTES:**
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - REFER TO STRUCTURAL DRAWINGS FOR FOOTER AND BASKETBALL COURT SURFACE PLANS

6 BASKETBALL HOOP

SCALE: 1/4" = 1'-0"

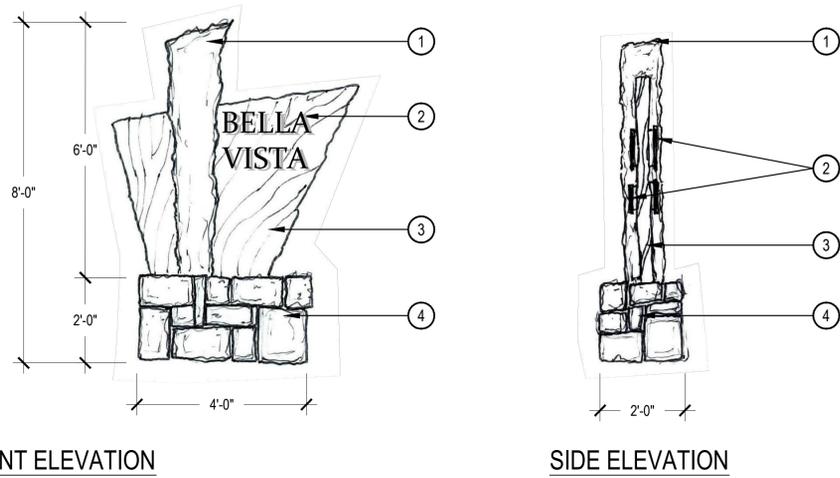


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SHEET TITLE:
COMPREHENSIVE
SIGN PLAN

S-1.00



- ① POTENTIAL STONE SIGN ACCENT
- ② PIN MOUNTED LETTERS, FONT IS CONCEPTUAL AND SUBJECT TO CHANGE
- ③ POTENTIAL WOODEN SIGN FACE
- ④ POTENTIAL STONE SIGN BASE

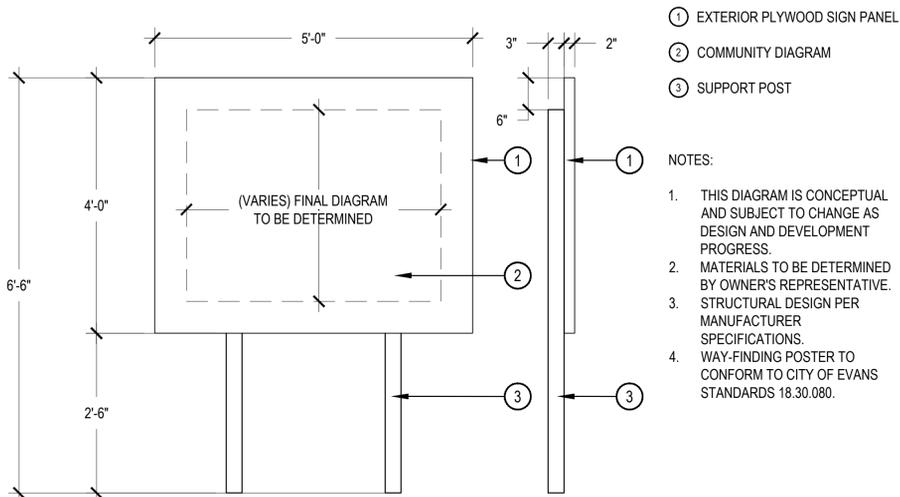
SIGN CRITERIA	
FLOWLINE SETBACK	10'
MAXIMUM AREA	125 SQ.FT.
MAXIMUM HEIGHT	8'

NOTES:

1. SIGN SIZE, DIMENSIONS AND MATERIALS ARE CONCEPTUAL AND SUBJECT TO CHANGE.
2. SIGN IS INTENDED TO BE DOUBLE SIDED.

1 COMPREHENSIVE SIGN PACKAGE

SCALE: 1/2" = 1'-0"



- ① EXTERIOR PLYWOOD SIGN PANEL
- ② COMMUNITY DIAGRAM
- ③ SUPPORT POST

NOTES:

1. THIS DIAGRAM IS CONCEPTUAL AND SUBJECT TO CHANGE AS DESIGN AND DEVELOPMENT PROGRESS.
2. MATERIALS TO BE DETERMINED BY OWNER'S REPRESENTATIVE.
3. STRUCTURAL DESIGN PER MANUFACTURER SPECIFICATIONS.
4. WAY-FINDING POSTER TO CONFORM TO CITY OF EVANS STANDARDS 18.30.080.

2 WAY-FINDING POSTER

SCALE: 3/4" = 1'-0"

IRRIGATION GENERAL NOTES:

- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL THE IMPROVEMENTS SHOWN ON THE PLANS.
- THE IRRIGATION CONTRACTOR SHALL COORDINATE AS NECESSARY WITH THE GENERAL CONTRACTOR AND OWNERS REPRESENTATIVE FOR SUCCESSFUL COMPLETION OF THIS WORK.
- THE CONTRACTOR ASSUMES ALL LIABILITY ASSOCIATED WITH THE MODIFICATION OF THE IRRIGATION SYSTEM DESIGN WITHOUT NOTIFYING THE OWNER'S REPRESENTATIVE.
- ALL IRRIGATION EQUIPMENT IS TO BE AS SPECIFIED OR APPROVED EQUAL PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A THOROUGH SITE INSPECTION AND REVIEW OF THE PROJECT CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: LANDSCAPE PLAN, UTILITY PLAN, CIVIL PLAN, GRADING AND DRAINAGE PLAN AND ALL OTHER ASSOCIATED PLANS THAT AFFECT THIS WORK PRIOR TO BEGINNING CONSTRUCTION. IF THE CONTRACTOR OBSERVES ANY DISCREPANCIES AMONG THE CONSTRUCTION DOCUMENTS AND THE EXISTING CONDITIONS ON SITE, IT IS THEIR RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE REGULATIONS AND INSTALL THE IRRIGATION SYSTEM AND ITS COMPONENTS PER THE MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS REQUIRED BY ANY LOCAL AND STATE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND PAYING FOR TESTING OF THE BACKFLOW PREVENTER BY A STATE CERTIFIED INSPECTOR. THE CONTRACTOR SHALL PROVIDE CERTIFICATES TO OWNER'S REPRESENTATIVE.
- THE CONTRACTOR MUST VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. IF THE CONTRACTOR FAILS TO DO SO AND DAMAGES ANY UNDERGROUND UTILITIES THROUGH THE COURSE OF HIS WORK THE CONTRACTOR SHALL PAY FOR ANY REPAIR WORK ASSOCIATED WITH SAID DAMAGES.
- IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN LANDSCAPE AREAS AND WITHIN THE PROJECT LIMITS. EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN FOR GRAPHIC CLARITY ONLY. IF THERE IS A QUESTION REGARDING THE LOCATION OF ANY COMPONENT OF THE IRRIGATION SYSTEM, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE. IF THE CONTRACTOR NEGLECTS TO NOTIFY THE NECESSARY PARTIES, THE CONTRACTOR SHALL PAY FOR ANY REPLACEMENT OR MODIFICATION TO INSURE PROPER LOCATION AND OPERATION OF THE IRRIGATION SYSTEM AND ITS COMPONENTS.
- ALL IRRIGATION DISTRIBUTION LINES AND EQUIPMENT INCLUDING BUT NOT LIMITED TO, MAINLINE, LATERALS, SPRAY HEADS, ROTORS, ROTARY SPRAYS, DRIP EMITTERS SHALL BE KEPT A MINIMUM DISTANCE OF 6' AWAY FROM ALL BUILDING AND WALL FOUNDATIONS, OR AS STIPULATED IN THE GEOTECHNICAL REPORT, WHICHEVER IS GREATER.
- ALL VALVE BOXES AND LIDS SHALL BE PLASTIC WITH SELF LOCKING COVERS. LID COLOR TO BE GREEN. INSTALL PER THE CONSTRUCTION DETAILS. DO NOT INSTALL IN PAVED AREAS.
- ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 1'-0" FROM THE EDGE OF PAVED SURFACES AND 3'-0" FROM THE CENTERLINE OF DRAINAGE SWALES OR RETENTION BASINS. THE CONTRACTOR SHALL ADJUST ALL VALVE BOXES TO BE FLUSH FINISH GRADE.
- GROUNDING FOR THE IRRIGATION CONTROLLER IS TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND PER THE AMERICAN SOCIETY OF IRRIGATION CONSULTANTS GUIDELINE 100-2002 FOR EARTH GROUNDING ELECTRONIC EQUIPMENT IN IRRIGATION SYSTEMS FOUND AT www.asic.org/Design_Guides.aspx. FOR TECHNICAL SUPPORT REGARDING THE IRRIGATION CONTROLLER OR GROUNDING PLEASE CONTACT RAIN BIRD TECHNICAL SERVICES (800) 724-6247.
- THE CONTRACTOR SHALL EXTEND THREE SPARE CONTROL WIRES (ONE COMMON AND 2 CONTROL WIRES) FROM THE IRRIGATION CONTROLLER TO THE END OF ALL MAINLINE BRANCHES SERVING THAT CONTROLLER. COIL 30" LENGTH MIN. OF SPARE WIRES IN A 10" ROUND VALVE BOX.
- CONTROLLER WIRE SHALL BE 14GA MIN. UL APPROVED WIRE, COLOR CODED PER VALVE, TAPED AND BUNDLED EVERY 10'. CONTRACTOR SHALL USE UL APPROVED WIRE STRIPPER AND WATERPROOF CONNECTIONS AT ALL SPLICES AND CONNECTIONS POINTS.
- THE CONTRACTOR SHALL INSTALL TRACER WIRE IN ALL PRESSURE MAINLINE TRENCHES. SEE IRRIGATION DETAILS FOR MORE INFORMATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ADEQUATE VERTICAL SEPARATION BETWEEN ALL IRRIGATION DISTRIBUTION LINES AND ALL UTILITIES (EXISTING OR PROPOSED), CONDUIT, STORM WATER COMPONENTS, DRAINS, ETC.
- PLANT MATERIAL LOCATIONS TAKE PRECEDENCE OVER IRRIGATION LINES. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL INCLUDING PERENNIAL BEDS.
- THE CONTRACTOR SHALL STAKE THE LOCATION OF THE MAINLINE, DRIP IRRIGATION LINES, CONTROL VALVES, GATE VALVES, ETC. AND SCHEDULE A REVIEW WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- LAYOUT DRIP LATERALS PARALLEL TO TOPOGRAPHY WHEREVER POSSIBLE. STAKE 3/4" DRIP TUBING IN PLACE AT 12" DEPTH AND BURY. INSTALL HOSE END FLUSHABLE TYPE END CAP AT ENDS OF ALL 3/4" POLYETHYLENE DRIP TUBING AND FLUSH THOROUGHLY BEFORE INSTALLING EMITTERS.
- TREES, SHRUBS AND GROUND COVER SHALL BE IRRIGATED BY PRESSURE REGULATING SINGLE OUTLET EMITTERS, SEE EMITTER SCHEDULE FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL FINE TUNE AND ADJUST NOZZLE DIRECTION AND RADIUS TO REDUCE OVERSPRAY ONTO PAVING OR HARD SURFACES.
- CONTRACTOR SHALL INSTALL A QUICK COUPLER IN 10" VALVE BOX AT THE END OF ALL BRANCHES OF THE MAINLINE, OR AS SHOWN ON PLANS, FOR WINTERIZATION AND FLUSHING OF MAINLINE.
- THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO OPERATE DURING A SIX NIGHT PER WEEK, EIGHT HOUR PER NIGHT WATERING WINDOW. ESTABLISHMENT WATERING WILL REQUIRE UP TO TWICE AS MUCH IRRIGATION FOR A 21 DAY PERIOD. THE DESIGN IS BASED ON THE FOLLOWING PROJECTED WEEKLY APPLICATION RATES AFTER ESTABLISHMENT. THESE FIGURES ARE BASED ON A 30-YEAR AVERAGE WEATHER DATA AND WILL NEED TO BE ADJUSTED DUE TO SEASONAL CHANGES AND WEATHER CONDITIONS ABOVE AND BELOW THE AVERAGE VALUES UTILIZED.

FRONT RANGE DROUGHT RESISTANT FESCUE BLEND TURF	1.75" PER WEEK PEAK SEASON
DRYLAND SEED MIXES	1.00" PER WEEK PEAK SEASON (TWO SEASONS)
- THE CONTRACTOR SHALL PROVIDE A SEASONAL MAINTENANCE SCHEDULE WHICH SHALL BEGIN ON APRIL 15 AND END ON OCTOBER 15 TO INSURE THE EFFICIENCY AND LONGEVITY OF THE IRRIGATION SYSTEM. THE MAINTENANCE SCHEDULE SHALL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING LIST OF BEST MANAGEMENT PRACTICES:
 - CHECK HEADS FOR COVERAGE AND LEAKAGE.
 - CHECK CONTROLLER PROGRAMMING AND ADJUST FOR SEASONAL CHANGES AS NECESSARY.
 - VERIFY THAT THE WATER SUPPLY AND PRESSURE ARE AS STATED IN THE DESIGN.
 - CERTIFY THE BACKFLOW PREVENTION DEVICE AND SUBMIT TEST RESULTS TO THE PROPERTY MANAGER.
 - PERIODICALLY VERIFY THE THE SENSORS IN THE IRRIGATION SYSTEM ARE OPERATING CORRECTLY.
 - WINTERIZATION AND SPRING START UP PROCEDURES.

IRRIGATION POINT OF CONNECTION NOTES:

- POINT OF CONNECTION:** THE POINT OF CONNECTION IS LOCATED ON THE NORTHWEST CORNER OF SITE 47 AT TRACT D. CONNECT DOWN STREAM OF THE POTABLE SOURCE WATER METER (PROVIDED BY OTHERS) WITH 1-1/2 " TYPE K COPPER AT A DEPTH OF 48" OR PER LOCAL CODE, WHICHEVER IS GREATER TO THE BACKFLOW PREVENTER. INSTALL ONE MANUAL DRAIN VALVE, ONE 1-1/2" FEBCO 825Y BACKFLOW PREVENTER IN A GUARDSHACK ENCLOSURE WITH FROST BLANKET. EXTEND 1-1/2" TYPE K COPPER A MINIMUM 30" BEYOND ENCLOSURE TO ONE 1" QUICK COUPLER VALVE, TRANSITION TO AND EXTEND 1-1/2" CL200 PVC MAINLINE TO VALVES AS SHOWN.
 THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES, OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS ASSOCIATED WITH THIS WORK. FINAL LOCATION OF BACKFLOW PREVENTERS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTROLLER LOCATION:** THE HUNTER XC HYBRID CONTROLLER IS POLE MOUNTED IN THE LANDSCAPE AREA ADJACENT TO THE BACKFLOW PREVENTER. THE CONTROLLER IS SOLAR POWERED WITH A LOCKABLE, STAINLESS STEEL ENCLOSURE. CONTRACTOR TO COORDINATE WITH HUNTER REPRESENTATIVE FOR ADDITIONAL INFORMATION ON INSTALLATION OR MOUNTING.
- SENSORS:** POLE MOUNT THE HUNTER RAIN-CLIK IN A LANDSCAPE AREA NEAR THE CONTROLLER LOCATION. THE SENSOR SHALL BE MOUNTED IN LOCATION IN FULL SUN AND OPEN TO RAINFALL. SENSOR SHALL BE NO MORE THAN 800' (LINE OF SIGHT) FROM WIRELESS RECEIVER.
- FINAL BACKFLOW PREVENTER, IRRIGATION CONTROLLER, RAIN SENSOR LOCATION AND SENSOR MOUNTING SYSTEM TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- SYSTEM PRESSURE: THE SYSTEM HAS BEEN DESIGNED FOR A REQUIRED MINIMUM STATIC PRESSURE OF 70 PSI AND MAXIMUM SAFE FLOW OF 35 GPM.** THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRESSURE IN THE FIELD AT THE POINT OF CONNECTION BEFORE CONSTRUCTION BEGINS AND FOR NOTIFYING THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCY BETWEEN THE DESIGN PRESSURE OF THE SYSTEM AND THE MEASURED PRESSURE IN THE FIELD. IF THE CONTRACTOR FAILS TO NOTIFY OWNER'S REPRESENTATIVE OF SUCH DISCREPANCIES, THEN THE CONTRACTOR ASSUMES ALL LIABILITY AND COSTS ASSOCIATED WITH SYSTEM MODIFICATIONS TO ACCOMMODATE THE ACTUAL PRESSURE.
- ALL IRRIGATION EQUIPMENT IS TO BE AS SPECIFIED, OR APPROVED EQUAL PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.

SLEEVING COORDINATION NOTES

- INSTALLATION OF IRRIGATION SLEEVING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.** SLEEVES SHALL BE INSTALLED PRIOR TO THE START OF PAVING OPERATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR FOR LOCATION AND SIZING OF SLEEVES PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL SLEEVE ALL IRRIGATION DISTRIBUTION LINES, VALVE CONTROL WIRES AND COMMUNICATION WIRES UNDER ALL PAVED SURFACES, WALL FOOTERS, DRAINAGE CHANNELS, INLETS, CATCH BASINS, ETC.
- ALL SLEEVES SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND EDGE OF ALL OBSTRUCTIONS. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER ANY OBSTRUCTIONS.
- SLEEVING SHALL BE INSTALLED PER THE SIZES AND QUANTITIES SHOWN ON THE PLANS BASED ON THE CHART BELOW. ALL MAINLINE, VALVE CONTROL AND COMMUNICATION WIRES, LATERALS AND 3/4" POLYETHYLENE DRIP TUBING UNDER PAVED SURFACES ARE TO BE INSTALLED IN SEPARATE SLEEVING.

<u>SLEEVED PIPE SIZE/WIRE QTY.</u>	<u>REQUIRED SLEEVE SIZE AND QTY.</u>
3/4"-1" PIPING	2" PVC (1)
1-50 CONTROL WIRES	3" PVC (1)

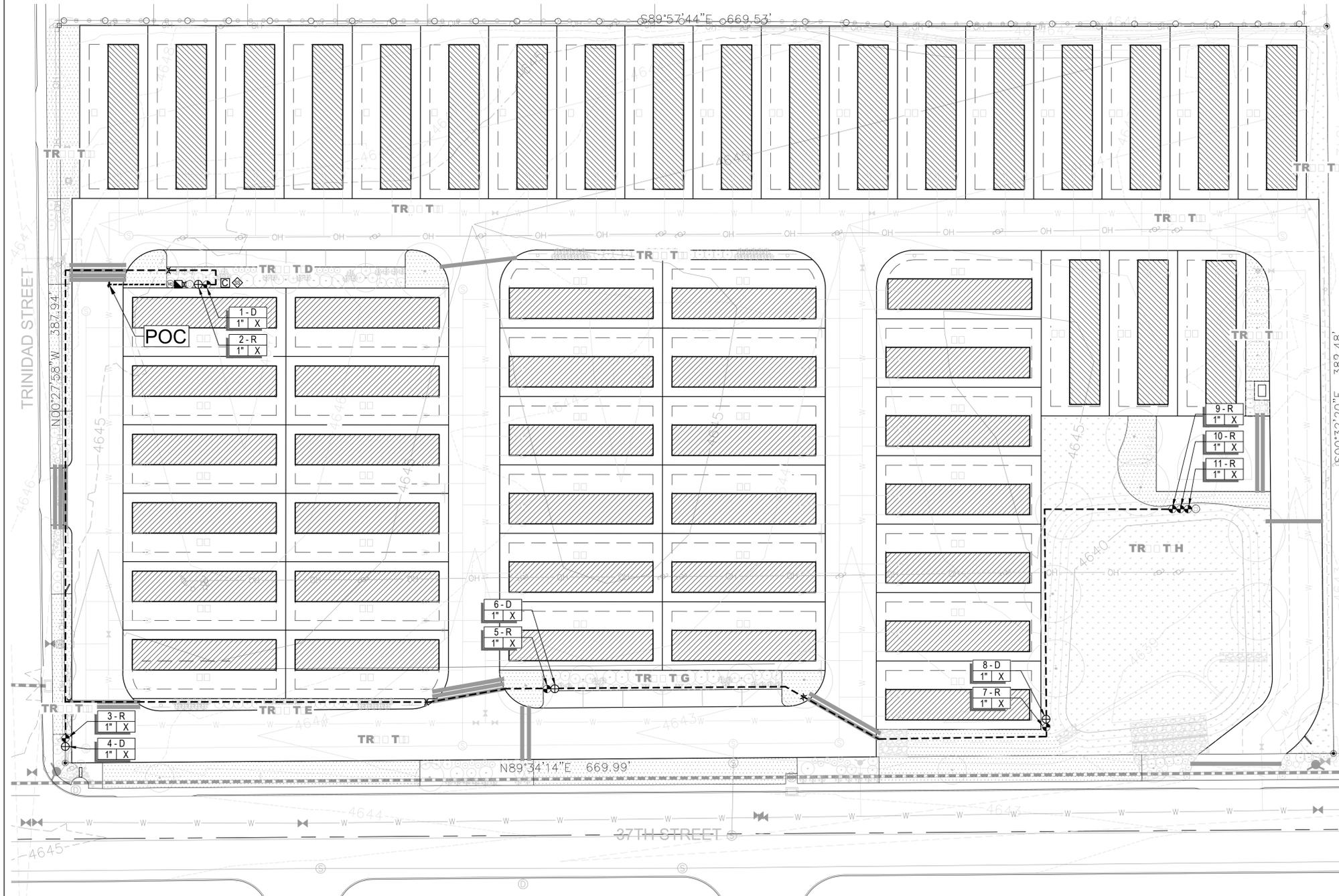
IRRIGATION SCHEDULE:

SYMBOL	DESCRIPTION	MFR	MODEL NO.	COMMENTS	DETAIL
	POINT OF CONNECTION	NA	Connect to proposed potable water service line with 1-1/2" Type K copper and extend to backflow preventer.	Refer to Utility and Grading Plans	
	BACKFLOW PREVENTER	FEBCO	1-1/2" FEBCO 825YA Backflow Preventer with manual drain valve and quick coupler	In Guardshack Enclosure	
NOT SHOWN	SECURITY ENCLOSURE	GUARD SHACK	Guard Shack GS-1.0 Lift-Off Enclosure 10"W X 24"H X 22"L	Color: Green	
	IRRIGATION CONTROLLER	HUNTER	Hunter XCH-1200-SS-SPXCH SOLAR (12 Valve fixed)	XCHSPOLE with XCHSPB Pole Mount	
	RAIN SENSOR	HUNTER	Rain-Click Rain/Freeze Sensor (WR-CLIK-TR)	Wireless pole mount	
	MANUAL DRAIN VALVE	WATTS	Carson 910 Round Valve Box Watts WGV Bronze Gate Valve		
	GATE VALVE	WATTS	Carson 1419 Standard Valve Box Watts WGV Bronze Gate Valve	Size per line size Threaded ends	
	QUICK COUPLER	HUNTER	Carson 1419 Standard Valve Box 1" Rain Bird LRC-44		
	VALVE ASSEMBLY TURF	HUNTER	1" NIBCO Sch 40 PVC Ball Valve 1" Hunter ICV-101G Hunter 458200 DC Latching Solenoid	7 Valves	
	VALVE ASSEMBLY DRIP	HUNTER	1" NIBCO Sch 40 PVC Ball Valve 1" Hunter ICZ-101-LF Drip Control Valve Hunter 458200 DC Latching Solenoid	4 Valves	
	TURF ROTARY 10' - 13'	HUNTER	Hunter MP1000 PROS-04-CV Turf Rotator, 4" pop-up with check valve, pressure regulated to 40 psi M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.	MP Rotator nozzle on PRS40 body. Matched precipitation rate @ 0.4"/hr.	
	TURF ROTARY CORNER	HUNTER	Hunter MP Corner PROS-04-CV Turf Rotator, 4" pop-up with factory installed check valve, pressure regulated to 40 psi. T=Turquoise adj arc 45-105.	MP Rotator nozzle on PRS40 body. Matched precipitation rate @ 0.4"/hr.	
	TURF ROTARY 6' - 12'	HUNTER	Hunter MP800SR PROS-04-PRS30-CV Turf Rotator, 4.0" pop-up with check valve, pressure regulated to 30 psi. ADJ=Orange and Gray (arc 90-210), 360 = Lime Green and Gray (arc 360)	MP Rotator nozzle on PRS30 body. Matched precipitation rate @ 0.8"/hr.	
	SLEEVING	NA	Class 160 PVC	See Sleeving Notes	
	SERVICE LINE	NA	1-1/2" Type K Copper	Meter to Backflow	
	PVC MAINLINE	NA	1-1/2" Class 200 BE PVC	Unless otherwise noted on the plan	
	PVC TURF LATERAL	NA	1" Class 200 PVC	Unless otherwise noted on the plan	
	DRIP LATERAL	NA	3/4" Polyethylene Drip Tubing		
	FLUSH END CAP	NA	Carson 910 Round Valve Box Polyethelene Hose End Flush Cap		
VALVE CALLOUTS		EMITTER SCHEDULE			
		PLANT TYPE	EMITTER RATE	# EMITTERS	
		GRASSES/PERENNIALS	0.5 GPH	ONE EACH	
		5 GAL SHRUBS	1.0 GPH	ONE EACH	
		2" CAL. B&B TREE	1.0 GPH	SIX EACH	
	2-1/2" CAL. B&B TREE	1.0 GPH	SIX EACH		
EMITTER NOTES					
<ol style="list-style-type: none"> ALL PLANT MATERIAL SHALL BE IRRIGATED W/ RAIN BIRD XB SERIES PRESSURE REGULATING EMITTERS. 1/4" DISTRIBUTION TUBING NOT TO EXCEED 8' IN LENGTH. RAIN BIRD DBC-025 DIFFUSER BUG CAP ON ALL 1/4" DISTRIBUTION TUBING. 					
NATIVE SEED					
SYMBOL	DESCRIPTION	IRRIGATION APPLICATION			
	IRRIGATED DRYLAND SEED MIX	IRRIGATED DRYLAND SEED AREAS SHALL BE 12" POP-UP SPRAY IRRIGATED AT APPROXIMATELY 50% COVERAGE FOR ESTABLISHMENT AND ARE ZONED SEPARATELY TO BE TURNED OFF AFTER THE ESTABLISHMENT PERIOD.			



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IRRIGATION SCHEDULE:

SYMBOL	DESCRIPTION	MFR	MODEL NO.	COMMENTS	DETAIL
POC	POINT OF CONNECTION	NA	Connect to proposed potable water service line with 1-1/2" Type K copper and extend to backflow preventer.	Refer to Utility and Grading Plans	
■	BACKFLOW PREVENTER	FEBCO	1-1/2" FEBCO 825YA Backflow Preventer with manual drain valve and quick coupler	In Guardshack Enclosure	
NOT SHOWN	SECURITY ENCLOSURE	GUARD SHACK	Guard Shack GS-1.0 Lift-Off Enclosure 10"W X 24"H X 22"L	Color: Green	
☐	IRRIGATION CONTROLLER	HUNTER	Hunter XCH-1200-SS-SPXCH SOLAR (12 Valve fixed)	XCHSPOLE with XCHSPB Pole Mount	
◆	RAIN SENSOR	HUNTER	Rain-Click Rain/Freeze Sensor (WR-CLIK-TR)	Wireless pole mount	
⊕	MANUAL DRAIN VALVE	WATTS	Carson 910 Round Valve Box Watts WGV Bronze Gate Valve		
×	GATE VALVE	WATTS	Carson 1419 Standard Valve Box Watts WGV Bronze Gate Valve	Size per line size Threaded ends	
○	QUICK COUPLER	HUNTER	Carson 1419 Standard Valve Box 1" Rain Bird LRC-44		
⊕	VALVE ASSEMBLY TURF	HUNTER	1" NIBCO Sch 40 PVC Ball Valve 1" Hunter ICV-101G Hunter 458200 DC Latching Solenoid	7 Valves	
⊕	VALVE ASSEMBLY DRIP	HUNTER	1" NIBCO Sch 40 PVC Ball Valve 1" Hunter ICZ-101-LF Drip Control Valve Hunter 458200 DC Latching Solenoid	4 Valves	
⊕	TURF ROTARY 10' - 13'	HUNTER	Hunter MP1000 PROS-04-CV Turf Rotator, 4" pop-up with check valve, pressure regulated to 40 psi M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.	MP Rotator nozzle on PRS40 body. Matched precipitation rate @ 0.4"/hr.	
⊕	TURF ROTARY CORNER	HUNTER	Hunter MP Corner PROS-04-CV Turf Rotator, 4" pop-up with factory installed check valve, pressure regulated to 40 psi. T=Turquoise adj arc 45-105.	MP Rotator nozzle on PRS40 body. Matched precipitation rate @ 0.4"/hr.	
○	TURF ROTARY 6' - 12'	HUNTER	Hunter MP800SR PROS-04-PRS 30-CV Turf Rotator, 4.0" pop-up with check valve, pressure regulated to 30 psi. ADJ=Orange and Gray (arc 90-210), 360 = Lime Green and Gray (arc 360)	MP Rotator nozzle on PRS30 body. Matched precipitation rate @ 0.8"/hr.	
—	SLEEVING	NA	Class 160 PVC	See Sleeving Notes	
- - -	SERVICE LINE	NA	1-1/2" Type K Copper	Meter to Backflow	
- - -	PVC MAINLINE	NA	1-1/2" Class 200 BE PVC	Unless otherwise noted on the plan	
- - -	PVC TURF LATERAL	NA	1" Class 200 PVC	Unless otherwise noted on the plan	
—	TREE/SHRUB DRIP LATERAL	NA	3/4" Polyethylene Drip Tubing		
—	FLUSH END CAP	NA	Carson 910 Round Valve Box Polyethylene Hose End Flush Cap		

VALVE CALLOUTS	EMITTER SCHEDULE		
	PLANT TYPE	EMITTER RATE	# EMITTERS
	GRASSES/PERENNIALS	0.5 GPH	ONE EACH
	5 GAL SHRUBS	1.0 GPH	ONE EACH
	2" CAL. B&B TREE	1.0 GPH	SIX EACH
	2-1/2" CAL. B&B TREE	1.0 GPH	SIX EACH

- EMITTER NOTES**
- ALL PLANT MATERIAL SHALL BE IRRIGATED W/ RAIN BIRD XB SERIES PRESSURE REGULATING EMITTERS.
 - 1/4" DISTRIBUTION TUBING NOT TO EXCEED 8' IN LENGTH.
 - RAIN BIRD DBC-025 DIFFUSER BUG CAP ON ALL 1/4" DISTRIBUTION TUBING.

NATIVE SEED	
SYMBOL	IRRIGATION APPLICATION
☐	IRRIGATED DRYLAND SEED MIX

IRRIGATED DRYLAND SEED AREAS SHALL BE 12" POP-UP SPRAY IRRIGATED AT APPROXIMATELY 50% COVERAGE FOR ESTABLISHMENT AND ARE ZONED SEPARATELY TO BE TURNED OFF AFTER THE ESTABLISHMENT PERIOD.

NORRIS DESIGN
www.norris-design.com

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BELLA VISTA
PLANNED UNIT DEVELOPMENT
EVANS, COLORADO

OWNER:
3610 Trinidad LLC
DBA: Bella Vista MHP
PO Box 202319
Denver, CO 80220
720-201-5685
Jim Feehan

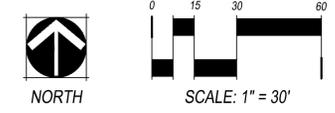
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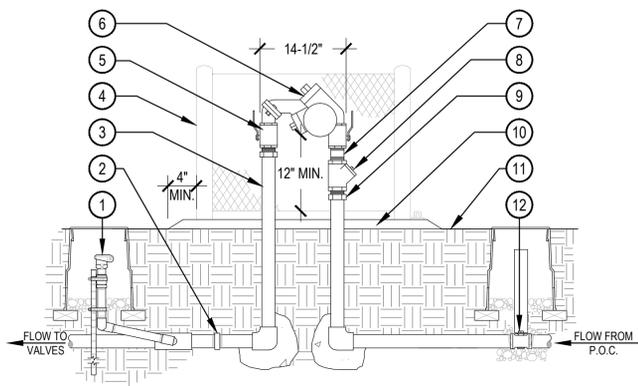
DATE:
PUD - 8/20/2015
PUD - 11/11/2015

SHEET TITLE:
CONCEPTUAL IRRIGATION PLAN

I-1.01



CHECKED BY: LV
DRAWN BY: CS

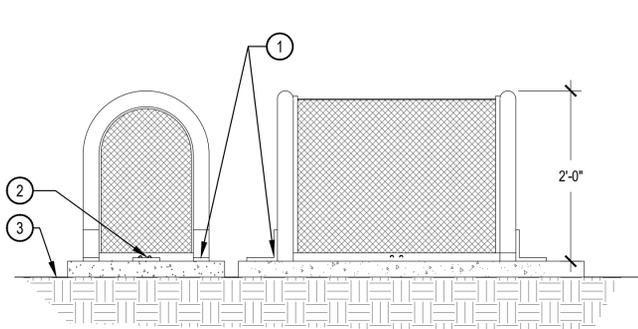


- 1 QUICK COUPLING VALVE
- 2 PVC ADAPTOR 30" BEYOND UNIT
- 3 TYPE K COPPER (TYP)
- 4 BACKFLOW PREVENTER ENCLOSURE PER SCHEDULE
- 5 BRASS BALL VALVE
- 6 BACKFLOW PREVENTER
- 7 BRASS NIPPLE
- 8 BRASS WYE STRAINER (100 MESH)
- 9 COPPER ADAPTER
- 10 4" THICK CONCRETE PAD
- 11 FINISH GRADE
- 12 MANUAL DRAIN VALVE

NOTE:
 1. INSTALL PER LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS.
 2. PROVIDE PVC PIPE PROTECTION AROUND COPPER SUPPLY LINES AS THEY GO THROUGH THE CONCRETE SLAB BASE.
 3. BACKFLOW PREVENTION DEVICES SHALL BE PLACED A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND SHALL BE THE SAME SIZE AS THE METER SERVICE LINE.
 4. PROVIDE THRUST BLACKS FOR LINES 2-1/2" OR LARGER

1 BACKFLOW PREVENTER

SCALE: NTS

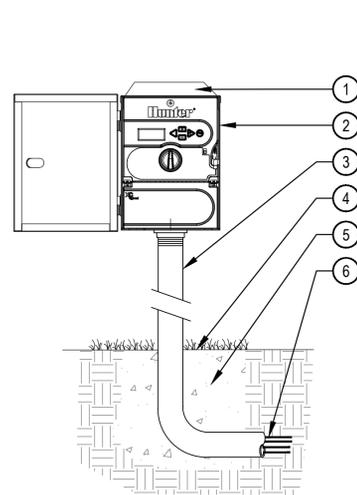


- 1 WELDED BRACKETS - BOTH ENDS
- 2 DRILL TWO 5/16" HOLES CENTERED FOR LOCKING BRACKET
- 3 FINISH GRADE

NOTE:
 1. INSTALL GUARDSHACK GS1 = 10" W x 24" H x 22" L LIFT-OFF UNIT 51 POWDER COATED STEEL GUARD SHACK PER MANUFACTURER'S SPECIFICATIONS.
 2. ALL BOLTS FOR MOUNTING BRACKETS SHALL BE ZINC PLATED TAMPER PROOF.
 3. PRODUCT AVAILABLE FROM GUARDSHACK 3831 E. GROVE ST. PHOENIX, AZ 85040 PH: (602) 426-1002 EXT. 422 FX: (602) 426-1005
 4. PROVIDE KEYPAD LOCK, MASTER LOCK MODEL #957 W/ (2) TWO KEYS FOR LOCKING SECURITY ENCLOSURE.

2 GUARDSHACK LIFT-OFF BACKFLOW ENCLOSURE

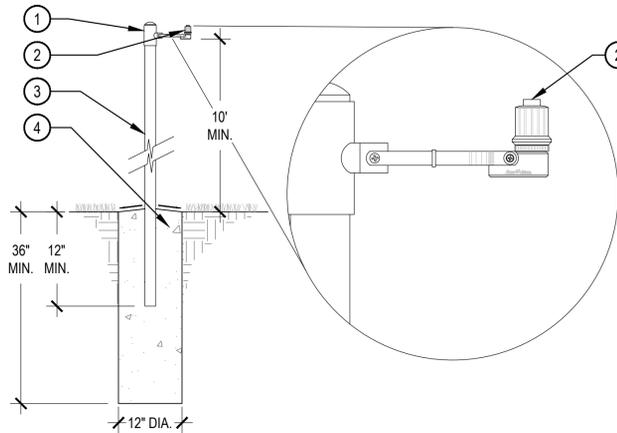
SCALE: NTS



- 1 MODEL SPXCH SOLAR PANEL MOUNTED TO TOP OF CONTROLLER BOX
- 2 MODEL XCH-1200-SS
- 3 STEEL CONDUIT (XCHS) WITH SWEEP ELBOW FOR CONTROL WIRE AND CONTROLLER SUPPORT WITH (XCHSPB) POLE SUPPORT BRACKET MOUNT.
- 4 FINISHED GRADE.
- 5 2 CUBIC FEET OF CONCRETE FOR POST SUPPORT. 12"x6" MIN.
- 6 COMMUNICATION WIRE TO VALVES

3 HUNTER XC-HYBRID SOLAR IRRIGATION CONTROLLER

SCALE: NTS

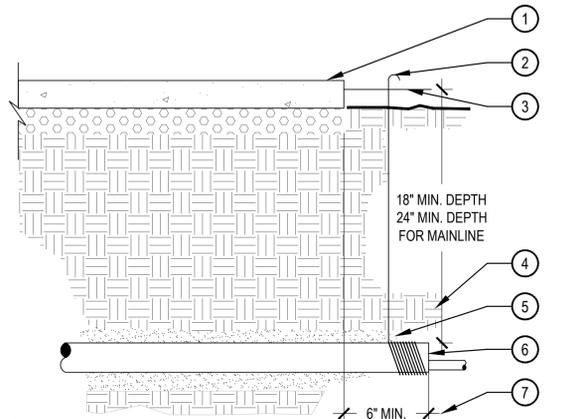


- 1 1-1/2" x 1-1/2" F x F SCH. 40 GALV. TEE WITH 1-1/2" PLUG.
- 2 WIRELESS RAIN SENSOR, LOCATE WITHIN 700' OF THE CONTROLLER.
- 3 1-1/2" DIAMETER SCH. 40 GALVANIZED STEEL POST.
- 4 12" DIA. CONCRETE BASE-FORM WITH SONA-TUBE OR EQ. POST SHALL BE CENTERED WITHIN BASE.

NOTE:
 1. INSTALL WR-2 NO GREATER THAN 700' FROM THE RECEIVER.
 2. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 3. SLOPE TOP OF FOOTER AWAY FROM POLE.
 4. FINAL LOCATION AND MOUNTING SYSTEM TO BE APPROVED BY OWNER.

4 RAIN-CLIK RAIN SENSOR (POLE MOUNTED)

SCALE: NTS

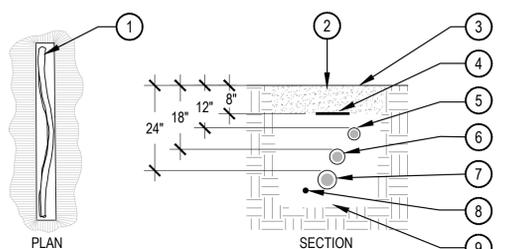


- 1 PAVING
- 2 WRAP 12 GAUGE GALVANIZED WIRE AROUND EACH END OF SLEEVE (10 WRAPS MIN.) AND EXTEND TO SURFACE AS A LOCATING DEVICE.
- 3 FINISH GRADE / TOP OF DG.
- 4 COMPACT SOIL AROUND SLEEVE TO SAME DENSITY AS ADJACENT UNDISTURBED SOIL.
- 5 WASHED AND GRADED MORTAR SAND BACKFILL IN ROCKY SOIL CONDITIONS.
- 6 PVC SLEEVE PER SCHEDULE. TWICE DIAMETER OF THE SUM OF THE PIPES/ WIRES
- 7 EXTEND SLEEVES 6" BEYOND EDGES OF PAVING

NOTE:
 1. ALL SLEEVES SHALL BE INSPECTED PRIOR TO BACKFILLING.
 2. CAP SLEEVES UNTIL USE.
 3. MULTIPLE SLEEVES REQUIRE 4" HORIZONTAL SEPARATION WITHIN SAME SLEEVE TRENCH.
 4. IRRIGATION PIPE AND WIRE SHALL NOT SHARE THE SAME SLEEVE.
 5. MARK / STAMP - 'X' AND/OR INSTALL PLACARD AT BACK OF CURB.

5 IRRIGATION SLEEVE

SCALE: NTS

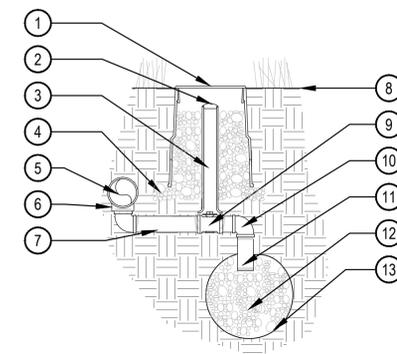


- 1 SNAKE PVC OR POLYETHYLENE PIPE IN TRENCH
- 2 EXCAVATED COVER MATERIAL (SEE NOTES)
- 3 FINISH GRADE
- 4 INDICATOR TAPE (MAIN LINE)
- 5 POLYETHYLENE DRIP LATERAL (12" MIN. COVERAGE, 18" MIN. COVERAGE BELOW PEDESTRIAN WALKS.)
- 6 IRRIGATION SUB-MAIN LATERAL
- 7 IRRIGATION MAINLINE
- 8 VALVE WIRING
- 9 BEDDING MATERIAL (SEE NOTES)

NOTE:
 1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. ALL PVC PIPING TO BE SNAKED IN TRENCHES AS SHOWN IN PLAN VIEW ABOVE.
 3. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED AS PER LOCAL CODES.
 4. ALL ELECTRICAL WIRE CONNECTIONS TO VALVES AND SPLICES TO BE INSTALLED WITHIN A VALVE BOX AND MADE WITH DBY WATERPROOF CONNECTORS, OR APPROVED EQUAL.
 5. BUNDLE AND TAPE WIRING AT 10' INTERVALS
 6. VALVE WIRES TO BE INSTALLED WITHIN MAINLINE TRENCH WHEREVER POSSIBLE.
 7. BEDDING MATERIAL SHALL BE 1/4" MINUS SAND, AND SHALL BE 3" BELOW LOWEST PIPE OR WIRE AND 3" ABOVE HIGHEST PIPE OR WEIR WITHIN TRENCH.
 8. BEDDING MATERIAL SHALL BE IN MAINLINE TRENCH ONLY.
 9. BEDDING IS NOT REQUIRED IN POLYETHYLENE TUBING TRENCHES.
 10. EXCAVATED COVER MATERIAL SHALL BE FREE FROM DEBRIS AND ROCKS 1/2" OR GREATER.
 11. PIPE BEDDING MATERIAL TO BE ROCK AND DEBRIS FREE, BACKFILL IN 6" LIFTS, PUDDLE WITH WATER, BETWEEN LIFTS.

6 IRRIGATION TRENCH

SCALE: NTS

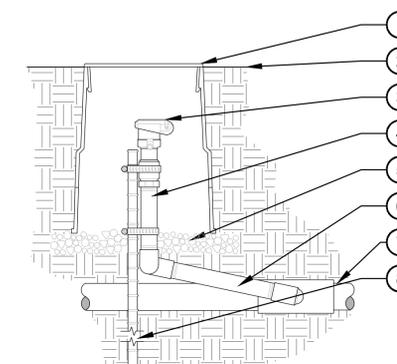


- 1 10" LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE.
- 2 2" VALVE MARKER
- 3 2" CL160 PVC ACCESS SLEEVE LENGTH AS REQUIRED.
- 4 3" DEPTH 3/4" CRUSHED GRAVEL 6" BEYOND EDGE OF BOX
- 5 PVC PRESSURE MAIN LINE
- 6 SCH. 80 TEE PER MAINLINE SIZE. ALIGN IN A DOWNWARD POSITION
- 7 SCH. 80 PVC NIPPLE
- 8 FINISH GRADE
- 9 1" BRONZE STOP VALVE WITH SLOTTED KEY OPERATOR
- 10 SCH. 80 PVC ELL
- 11 SCH. 80 PVC NIPPLE
- 12 3/4" GRAVEL SUMP - 1 CU. FT. MIN
- 13 SOIL BLANKET ENCLOSING SUMP AMOCO ENG. FABRIC 4545 - 4.5 OZ. OR EQUAL

NOTE:
 1. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.
 2. LOCATE DRAIN VALVE AT POINT OF CONNECTION AND AT ALL LOW POINT(S) ALONG THE IRRIGATION MAINLINE AS NEEDED.

7 MANUAL DRAIN VALVE

SCALE: NTS

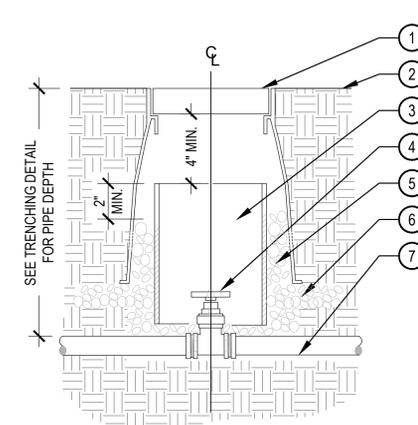


- 1 6" ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO FLUSH WITH FINISH GRADE
- 2 FINISH GRADE
- 3 QUICK COUPLING VALVE W/ LOCKING COVER PER SCHEDULE
- 4 SCH. 80 NIPPLE
- 5 3" DEPTH 3/4" GRAVEL BASE EXTEND 6" BEYOND EDGE OF BOX
- 6 1" PVC SWING JOINT
- 7 PVC MAINLINE
- 8 24" #4 REBAR TO HOLD COUPLER IN PLACE W/ (2) STAINLESS STEEL CLAMPS

NOTE:
 1. EACH QUICK COUPLER SHALL BE IN A SEPARATE VALVE BOX
 2. PROVIDE (1) QUICK COUPLER KEY FOR EACH QUICK COUPLER VALVE.
 3. QUICK COUPLER SHALL HAVE YELLOW LOCKING RUBBER COVER
 4. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 5. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.

8 QUICK COUPLER

SCALE: NTS

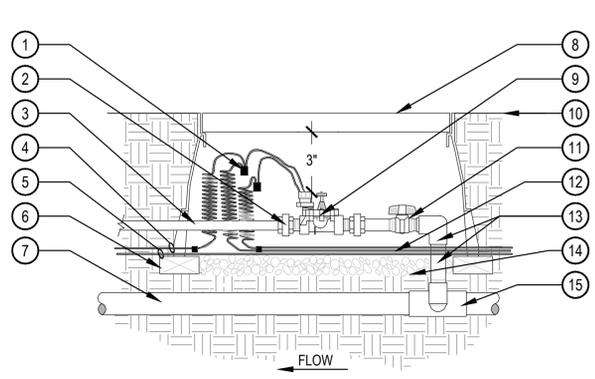


- 1 LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 2 FINISH GRADE
- 3 2" CL160 PVC ACCESS SLEEVE LENGTH AS REQUIRED.
- 4 GATE VALVE W/ CROSS HANDLE AND SOLID WEDGE DISC PER SCHEDULE
- 5 3/4" GRAVEL SUMP FILL IN AND AROUND BOX AS REQUIRED.
- 6 3" DEPTH 3/4" GRAVEL EXTEND 6" BEYOND EDGE OF BOX
- 7 PVC MAINLINE AS PER PLAN

NOTE:
 1. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 2. DO NOT REST VALVE BOX OR ACCESS SLEEVES ON MAINLINE OR LATERAL LINE.
 3. PROVIDE GATE VALVE KEY - LENGTH AS REQUIRED.

9 GATE VALVE 3" & SMALLER

SCALE: NTS

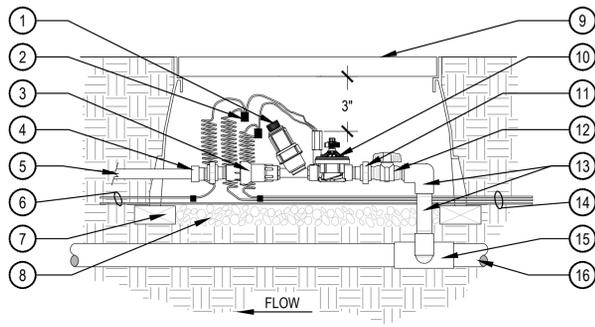


- 1 WATERPROOF CONNECTORS
- 2 SCH. 80 PVC UNION (TYP.) OF 2
- 3 PVC LATERAL
- 4 COMMON WIRE TO NEXT VALVE(S)
- 5 CONTROL WIRE TO NEXT VALVE(S)
- 6 BRICK SUPPORTS 4 MIN.
- 7 PVC MAINLINE
- 8 PLASTIC LOCKING VALVE BOX PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 9 VALVE ASSEMBLY
- 10 FINISH GRADE
- 11 PVC BALL VALVE PER SCHEDULE
- 12 WIRES FROM CONTROLLER
- 13 SCH. 80 ELL AND NIPPLE
- 14 3/4" GRAVEL SUMP. 4" DEPTH
- 15 SCH. 80 TEE

NOTE:
 1. BUNDLE & TAPE WIRE EVERY 10 FT. SEAL WIRE ENDS WITH WATERPROOF SPLICING MATERIAL.
 2. 30" MIN. LENGTH OF CONTROL WIRE COILED AND PLACED IN BOX AT WATERPROOF CONNECTION TO SOLENOID.

1 TURF VALVE ASSEMBLY

SCALE: NTS

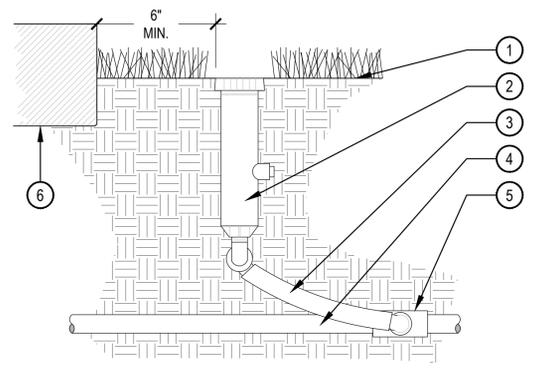


- 1 WYE FILTER PER SCHEDULE
- 2 WATERPROOF CONNECTORS
- 3 PRESSURE REGULATOR PER SCH.
- 4 PVC TO POLY ADAPTER
- 5 3/4" POLY DRIP LATERAL
- 6 COMMON AND CONTROL WIRE TO NEXT VALVE(S)
- 7 BRICK SUPPORTS 4 MIN.
- 8 3/4" GRAVEL SUMP. 4" DEPTH
- 9 PLASTIC LOCKING VALVE BOX PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 10 CONTROL VALVE
- 11 SCH. 80 PVC UNION (TYP.) OF 2
- 12 PVC BALL VALVE PER SCHEDULE
- 13 SCH. 80 ELL AND NIPPLE
- 14 WIRES FROM CONTROLLER
- 15 SCH. 80 PVC TEE
- 16 PVC MAINLINE

NOTE:
 1. BUNDLE & TAPE WIRE EVERY 10 FT. SEAL WIRE ENDS WITH WATERPROOF SPLICING MATERIAL.
 2. 30" MIN. LENGTH OF CONTROL WIRE COILED AND PLACED IN BOX AT WATERPROOF CONNECTION TO SOLENOID.

2 DRIP VALVE ASSEMBLY

SCALE: NTS

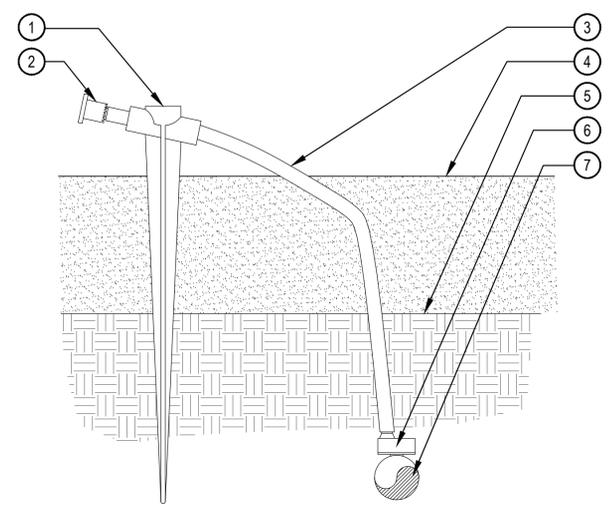


- 1 FINISH GRADE
- 2 POP-UP SPRAY SPRINKLER PER SCHEDULE
- 3 FLEXIBLE SWING JOINT - 18" MAX
- 4 PVC LATERAL PIPE
- 5 PVC SCH. 40 TEE OR ELL, THREADED
- 6 EDGE OF PAVING OR HEADER

NOTE:
 1. AFTER FLUSHING HEADS, REGRADE AND COMPACT AS NEEDED TO RETURN TO FINISH GRADE CONDITION.
 2. SPRINKLERS SHALL BE MIN. 6" FROM ANY WALLS, WALKS, COURTS, AND 12" FROM TURF EDGE.
 3. ADJUST ALL SPRINKLERS HEADS SO THAT NO OVERSPRAY OCCURS ON ANY WALLS, WALKS, COURTS, ETC.
 4. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.
 5. COMPACT SOIL AROUND HEAD TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.

3 POP-UP SPRAY ASSEMBLY

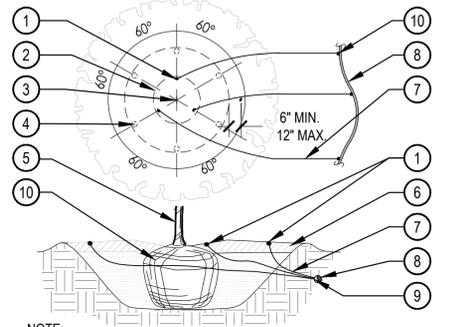
SCALE: NTS



- 1 UNIVERSAL 1/4" TUBING STAKE
- 2 DBC-25 DIFFUSER CAP
- 3 1/4" DISTRIBUTION TUBING: LENGTH NOT TO EXCEED 8'
- 4 TOP OF MULCH
- 5 FINISH GRADE
- 6 PRESSURE COMPENSATING EMITTER PER EMITTER SCHEDULE
- 7 3/4" POLYETHYLENE TUBING DEPTH PER DETAIL

4 SINGLE OUTLET EMITTER (POLYETHYLENE)

SCALE: NTS

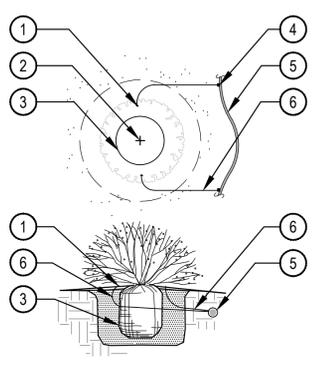


- 1 EMISSION POINT, DIFFUSER CAP W/ DRIP STAKE (TYP.)
- 2 PLANT ROOT BALL (TYP.)
- 3 PLANT CENTER (TYP.)
- 4 SECOND EMISSION POINTS SEE NOTE 3 BELOW
- 5 TREE TRUNK
- 6 MULCH LAYER
- 7 1/4" DISTRIBUTION TUBING (LENGTH NOT TO EXCEED 8')
- 8 3/4" POLYETHYLENE DRIP TUBING
- 9 SINGLE OUTLET EMITTER
- 10 ROOTBALL

NOTE:
 1. MAXIMUM LENGTH OF ONE DISTRIBUTION TUBE SHALL BE 8'.
 2. ALL EMISSION POINTS SHALL BE LOCATED ON UPHILL SIDE OF PLANT MATERIAL. ONE EMISSION POINT SHALL BE DIRECTLY TO PLANT BALL AS INDICATED. ADDITIONAL EMISSION POINTS SHALL BE WITHIN PLANT PIT PERIMETER AS DIRECTED IN THE EMITTER SCHEDULE.
 3. SECOND EMISSION POINTS (IF NEEDED) AS PER THE EMITTER SCHEDULE FOR TREES WITH 3" CALIPER OR GREATER OR CONIFEROUS TREES 10' OR GREATER IN HEIGHT.
 4. THIS IS A WATERING GUIDE ONLY. SITE, SOIL AND PLANT CONDITIONS VARY GREATLY. CONTRACTOR MUST OBSERVE THE PLANT MATERIAL AND MAKE ADJUSTMENTS AS NECESSARY FOR PROPER PLANT WATER REQUIREMENT.

5 TREE EMITTER PLACEMENT

SCALE: NTS

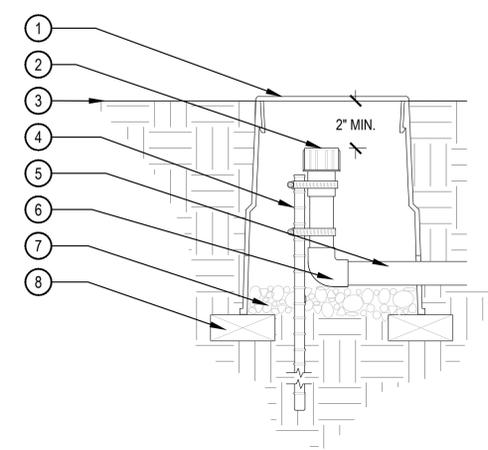


- 1 DIFFUSER CAP W/ DRIP STAKE
- 2 PLANT CENTER
- 3 PLANT ROOTBALL
- 4 SINGLE OUTLET EMITTER
- 5 3/4" POLYETHYLENE DRIP TUBING
- 6 1/4" DISTRIBUTION TUBING (LENGTH NOT TO EXCEED 8')

NOTE:
 1. EMITTERS SHALL BE EQUALLY SPACED AROUND ROOTBALL.
 2. FLUSH ALL LINES THOROUGHLY PRIOR TO EMITTER INSTALLATION.
 3. IF PLANTING ON A 4:1 SLOPE OR STEEPER, INSTALL EMITTERS ON THE UPHILL SIDE OF PLANT.
 4. EMITTERS SHALL BE SELF-FLUSHING PRESSURE COMPENSATING-TYPE UNLESS NOTED OTHERWISE.
 5. DRIP VALVE ZONES (HYDROZONES) ARE DESIGNED TO ACCOUNT FOR DIFFERENCES IN PLANT REQUIREMENTS AND SUN EXPOSURE.
 6. CONTRACTOR SHALL ENSURE HYDROZONES ARE VALVED SEPARATELY AS SHOWN ON PLAN.

6 SINGLE OUTLET EMITTER PLACEMENT

SCALE: NTS



- 1 LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 2 HOSE END SELF FLUSH CAP
- 3 FINISH GRADE
- 4 24" #4 REBAR TO HOLD END CAP IN PLACE W/ (2) STAINLESS STEEL CLAMPS
- 5 POLYETHYLENE LATERAL
- 6 ELBOW COMPRESSION FITTING
- 7 3/4" GRAVEL SUMP- 4" DEPTH
- 8 BRICK (2 REQUIRED MIN.)

NOTE:
 1. COMPACT SOIL AROUND VALVE BOX TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 2. SECURE STAKE TO FLUSH END CAP WITH A MIN. OF TWO S.S. CLAMPS.

7 DRIP FLUSH END CAP

SCALE: NTS

November 12, 2015

Mr. Sean Wheeler
City of Evans Community Development
1100 37th Street
Evans, Colorado 80620

Re: **Bella Vista MHP PUD**
Rezoning and Site Plan – 1st Submittal Response Letter

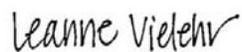
Dear Mr. Wheeler,

Thank you for your 1st submittal comments, which we received on October 2, 2015. We have reviewed all comments and addressed them in the attached resubmittal. Please find the below items in our resubmittal package:

- PUD Site Plan
- Response to Comments Letter
- Sample Rules and Regulations
- Project Description
- PUD Development Guide
- Utility Conformance Letter
- Preliminary Drainage Report and Exhibit

We look forward to continually working with the City on this project. As always, feel free to contact me with any questions at 303.892.1166.

Sincerely
Norris Design



Leanne Vielehr
Associate

STAFF ASSESSMENTS

1. BUILDING & NEIGHBORHOOD SERVICES: The Evans Flood Recovery, Building and Neighborhood Services Manager provided the following comments:

The jurisdiction of the building division will not occur until the site is deemed ready for the placement of homes. At such time, the City of Evans will require a Manufactured Home Permit with each unit being moved in. Such permit will need to include: 1. Photo of home, and; 2. Proof of age (copy of data plate).

In Addition the Evans Building Division will inspect anchorage, utility connections and skirting for each residential use.

Response: Noted.

2. ENGINEERING: The City Engineer provided the following comments:

The applicant submitted a *Preliminary Drainage Report, a Traffic Conformance Letter, a Utility Conformance Letter, and a Site Plan. The Site Plan includes a Utility and Grading Sheet, an Existing Conditions and Survey Map Sheet, a Conceptual Landscaping and details Sheet.*

A. Site Plan:

S1 – The applicant shall provide locations of all proposed signs and lights. A complete sign permit, including specifications for the signs and lights, including type, height and general conformance to the code.

Response: Lights have been provided at the entrances from public streets. Stop signs have also been provided at these connection points. No parking signs have been added to one side on all private drives.

S2 – The applicant shall provide the distance from all proposed buildings or structures to adjacent lot lines, easements and adjacent structures.

Response: Typical building/structure placement has been provided in the form of a typical lot detail on the Site Plan.

S3 – The applicant shall provide the square footage of all proposed buildings and the footprint of the proposed buildings.

Response: All proposed building will be 16' x 76' and 1,216 sq. ft. A footprint has been shown on the site plan.

S4 – The applicant shall provide more information on public trash removal or show trash disposal areas and enclosures including specifications for said enclosures if applicable.

Response: Trash and recycling pickup will be provided by a third party provider such as Waste Management. There is no central trash location planned.

S5 - The applicant shall provide a public access easement for the fire department to ensure appropriate access and turn-around room is provided.

Response: Public Access has been provided in the form of Tract A.

S6 - The applicant shall label all existing and proposed sidewalk accessible handicap ramps and reference them accordingly to the correct construction detail.

Response: There will be no interior sidewalks and therefore, no new ramps added. Existing Ramps have been labeled on the Site Plan.

S7 - According to the home site typical labeled number 1 on the conceptual landscaping plan the distance from homes placed side-by-side will be 15' when the minimum required is 20'. Please clarify this layout and make sure the minimum setback is met.

Response: Home Site Typical has been adjusted to show proper home spacing of 20'. Minimum setback for all homes is 5'.

S8 - Is the applicant planning on having any on-street parking permitted? If so signs stating "No Parking - Fire Lane" or "Parking This Side Only" or similar as approved by the City will be required on each side of every roadway less than thirty-two (32) feet in width. Please show on plans if applicable.

Response: Yes, "No Parking" signs have been added to one side of private drives.

B. Utility Plan

U1 - The applicant shall label the size and type of all existing water lines.

Response: Existing lines have been labeled accordingly.

U2 - The applicant shall show the plan and profile of all utilities.

Response: Connection points and plan view orientation have been provided. Profiles and final detail will be provided with the construction documents.

U3 - The applicant shall provide the location, size, and material type of all existing and proposed water and sewer service connections and tap sizes (including those for irrigation systems).

Response: This information will be provided on the construction documents.

U4 - The applicant shall number manholes per city standards and label them accordingly.

Response: Calibre will add this to construction documents.

U5 - The applicant shall reference all service lines to an appropriate installation detail and label material type.

Response: Calibre will add this to construction documents.

U6 - The applicant shall provide a note stating to protect existing pipes, poles, etc. per 12.04.150

Response: Calibre will add this to construction documents.

U7 - The applicant shall provide callouts for all meters and reference an installation detail accordingly.

Response: Calibre will add this to construction documents.

C. Landscaping Plan:

L1 - The applicant shall show the approximate location and character of all existing vegetation, labeled "to be removed" or "to remain".

Response: All existing vegetation has been represented and accurately described in the legend.

D. Drainage Report:

D1 – The applicant shall ensure water quality and their intent to meet 2 year return interval water quality standards.

Response: The 2 year return interval water quality standard will be met.

D2 – The applicant shall provide a maintenance policy for the multiple proposed detention/retention basins on site to ensure water quality.

Response: A maintenance policy will be provided.

E. Geotechnical Report:

GR1 - The applicant shall provide an investigation report regarding area stability for the proposed development. This report shall include a list of economically recoverable minerals in the land within the subdivision boundary. The statement must also include any known hazards and other important environmental conditions are present on the property.

Response: We are working on preparing this information.

F. General:

G1 – The applicant shall provide certificate blocks for signatures of owner, engineer, surveyor and City approval, as applicable on all plans.

Response: Signature blocks have been added to the cover sheet per comment.

G2 – Please note that all reports and construction plans completed by a Colorado Registered Professional Engineer must be signed and wet stamped prior to final acceptance.

Response: Comment Noted. Stamp and signature will be provided.

G3 – Please include the email address of the property owner on the site plan.

Response: The Property Owner's email has been added to the cover sheet.

G4 – The applicant shall include the lot size (square footage) on the cover sheet.

Response: Lot size table has been included on cover sheet.

G5 – The applicant shall list all benchmarks and bearings on the cover sheet.

Response: Benchmarks and basis of bearings have been provided on the PUD Survey Plat.

G6 - The applicant shall provide a general notes and construction notes page in the plan set that references all applicable standards and care for construction in the City of Evans.

Response: General notes and construction notes have been added to the cover page.

G7 - The applicant shall include all applicable Details and reference them with respect to the plans.

Response: All applicable details have been added to the plans.

G8 – The applicant shall update the Utility Conformance Letter to 6" minimum water line and stamp the document.

Response: The conformance letter has been updated, as requested.

3. **FIRE:** The Evans Fire Protection District provided the following comments:

A. Since all of the streets are private they will serve as fire lanes and must meet the design criteria established in Appendix D of the 2012 edition of the International Fire Code.

Response: All private streets meet the aforementioned criteria.

B. Private fire protection water supplies must be installed AND maintained in accordance with NFPA 25-2011.

Response: Comment Noted.

C. We do not believe one connection to the Municipal water supply will allow the needed fire flows- a second connection to the Municipal water supply may be needed and will prevent a dead end loop situation.

Response: We now have three independent connections for fire flows.

D. Two fire hydrants are not sufficient for this project. Fire hydrant spacing must conform to Appendix C of the 2012 edition of the International Fire Code

Response: There are now three hydrants planned for the area.

4. **PARKS:** The City Parks & Grounds Superintendent provided the following comments:

A. The Landscape Plan is missing some of the required information, including addressing the standards in Chapter 19.47.160 - Landscaping and irrigation plan requirements, with specific items noted as follows:

1. Mature trees and other existing vegetation, labeled "to be removed" or "to remain." See below also.
19.47.140 - Mature tree preservation and mitigation:

- Existing healthy trees and shrubs shall be preserved and incorporated into the overall site and landscape design to the maximum extent practical, as determined by the City. Certain trees and shrubs may be deemed unsuitable or unpreservable but must be shown on the landscape plan and shall not be removed until approval is granted by the City. The value of trees that cannot be preserved and need to be removed shall be determined by the City Forester and appropriate new replacements shall be planted at the rate of one (1) tree for every four (4) inches of DBH (diameter at breast height) lost. Location of replacement trees may be within the development or at an acceptable location within City right-of-way as approved by the City Forester.

Response: ND

- A list of all proposed plant and landscape material including species, size and quantity and labeled on the plan.

Response: ND

- When adding the quantities please keep 19.47.040 - Minimum species diversity in mind.

Response: Thank you. 19.47.040 has been utilized to maintain species diversity.

- Soil amendments not called out per Chapter 19.47.080 - Soil amendments and rock mulch or gravel. Soil in areas intended for plantings shall first be amended according to City standards in order to loosen compacted soil, improve the viability of plantings and reduce the amount of watering required. Rock mulch or gravel shall not be placed within two (2) feet of required trees. (Ord. 286-04)

Response: Soil Amendment note has been added to the Landscaping Notes on the Cover Sheet.

- No irrigation plan submitted. Per Chapter 19.47.070 - Irrigation. All required landscaping shall be irrigated. Use of non-potable irrigation water is encouraged. The Director of Parks and Recreation may approve a temporary irrigation system for plants that can survive without irrigation once established. (Ord. 286-04)

Response: An irrigation plan is included in this submittal.

5. **CITY PLANNING:** The City Planner notes the following requirements as applicable to this request.

A. CHAPTER 19.60 Zoning Amendments: The applicant provided the items required by this chapter for review of a zoning amendment. In addition Chapter 19.60 requires compliance with the requirements found in Chapter 18.28 PUD Districts, as discussed in the next item below.

Response: Noted.

B. CHAPTER 18.28: PUD Districts:

1. **18.28.100 - PUD Plan.** A PUD Plan or PUD Development Guide is required for this request with the next submittal. The plan must contain sufficient detail to establish the perimeters for zoning definitions applied to this PUD, as required by the Municipal Code or desired by the applicant, to include setback requirements, layout standards for individual spaces, site management, covenant or controlling documents and other elements such as the following:

- **Accessory Structures:** Accessory structures shall only be permitted in accordance with Chapter 19.48 of the Evans Municipal Code.
- **Amenities:** Describe amenities provided for residents if any.
- **Definitions of Use:** State the allowed use by right for this PUD as being only for a single-family Manufactured Home Park.
- **Density Standards:** State the maximum number or units allowed within the PUD.
- **Landscaping and Maintenance Requirements:** Describe the minimum landscaping and maintenance requirements for individual units.
- **Manufactured Homes:** The Municipal Code states that only Manufactured Homes are allowed in new development. The PUD Plan shall show in detail the types and designs of units allowed in the development. This section shall include definitions of the minimum and maximum sizes of units as well. The Municipal Code defines Manufactured Homes as follows *"a home built entirely in a factory and*

certified pursuant to National Manufactured Housing Construction and Safety Standards Act of 1974, 42 U.S.C. 5401, et seq., commonly referred to as the HUD code. The code went into effect June 15, 1976.” (Chapter 18.30.030 - Definitions)

Please note, Chapter 19.04.580 also defines “Manufactured Home” as any dwelling which is: 1) partially or entirely manufactured in a factory, 2) is not less than twenty-four (24) feet in width and thirty-six (36) feet in length; 3) is installed on an engineered permanent foundation; 4) has brick, wood, or cosmetically equivalent exterior siding and a pitched roof; 5) and is certified pursuant to “National Manufactured Housing Construction and Safety Standards Act of 1974,” 42 U.S.C. 5401 et seq. as amended.

Industry standards such as those quoted in both definitions will be the minimum definition for a manufactured home. The PUD Plan should state if other requirements such as a minimum size, roof pitch, etc. are to be applied to the definition for a manufactured home. City building code requirements would apply regardless, though the PUD standard can exceed the building code requirements. PUD requirements cannot reduce building code standards or other applicable regulations such as those of the Fire Code. Planning staff recommends consulting with the City Building Department for further direction in this area, should clarification be required.

- **Ownership:** Describe ownership of units and space and leasing requirements.
- **Parking, Guest:** The site plan must identify the location and use of guest parking areas.
- **Property Management / Homeowner’s Association:** Describe how management of the property is provided and include supporting legal documents such as HOA information. Identify the location of onsite property management office or residence.
- **Setbacks:** Establish the minimum setback requirements for individual units, regardless of size or style.
- **Storage:** No storage shall be permitted underneath any home unless properly designed and enclosed with skirting. No flammable, combustible or hazardous material shall be stored underneath any home.
- **Typical Lot Layout Drawing:** Provide a typical lot layout to show in compliance with 18.30.037 as follows:
 - A) The area devoted to each home space shall be no less than three thousand (3,000) square feet, and shall have the following setbacks.
 - B) Separation between units:
 - 1) Homes placed end-to-end shall have a minimum of a ten-foot separation.
 - 2) Homes placed side-by-side shall have a minimum of twenty-foot separation.
 - 3) Homes placed side-to-end shall have a minimum of fifteen-foot separation.
 - 4) No home shall be located closer than ten (10) feet from any building within the park or from any property line bounding the park.
 - 5) Homes including non-removable tow hitches shall be set back at least five (5) feet from

private streets and roadways, and twenty-five (25) feet from public rights-of-way.

- C) Parking:
- 1) Two paved off-street parking spaces shall be required per home.
 - 2) On-street parking shall be allowed only if a twenty-foot wide traveled way is maintained at all times.
 - 3) Visitor parking lots should be established and distributed in an accessible manner functional with surrounding properties.
- D) Skirting. Each home shall have perimeter skirting between the ground and the bottom of the home floor within (30) thirty days after placement is made. Such skirting shall be durable, rigid weather-resistant material.
- E) Tie-down requirements. All licensees, as well as owners and occupiers of homes, shall be required to comply with any requirements imposed by Colorado law or by regulations issued by any agency of the State of Colorado, including but not limited to the Colorado Division of Housing, pertaining to anchoring or tying down homes as a safety precaution against wind.
- F) Decks/landing. A deck/landing is required at all exterior doors complying with minimum standards as set forth by the International Building Code.
- **Utility Requirements:** Describe the utilities provided to each unit and how those shall be billed either to individual unit owners or to the Property Manager.
 - **Uses by Right:** The PUD Plan shall state that the site is limited to single family residential uses. Commercial and industrial uses, other than those allowed as home occupations in the Municipal Code are not allowed by zoning.
Response: A Development Guide has been provided with the resubmittal addressing the items outlined above.
2. **PUD Site Plan:** The approved site plan shall be attached as an exhibit to the PUD Plan or PUD Development Guide. It shall show at a minimum the location of all buildings, signs, streets, lanes, parking areas, parks, open areas, recreational facilities and all other improvements; the dimensions of all structures, streets, parking areas and recreational facilities, and the distances between structures and boundary lines.
Response: Noted.
3. **PUD Survey Plat:** Under Chapter 18.28.110, a survey plat of the property is required. The survey plat shall identify individual unit spaces as building envelopes, with appropriate bearing and distance information shown to establish the exact locations. Other areas such may be identified as landscape easements, play easements and detention easement. The survey plat shall include showing the outer boundaries of the area and showing elevation contours at two-foot intervals.
Response: The PUD Survey Plat has been provided, as requested.
- C. 18.28.110 - Application for PUD Plan Approval - Signatures Required - Contents.

This section of the Municipal Code describes the requirements for PUD Plan approval. The requirements for this section are already on file (such as the legal description) or are described elsewhere in these comments, or in the comments provided by other reviewing offices.

Response: Noted.

D. CHAPTER 18.30 Manufactured Home Park Plan:

This section of the Municipal Code describes the requirements for the Manufactured Home Park Plan. The requirements for this section are already on file (such as the legal description) or are described elsewhere in these comments, or in the comments provided by other reviewing offices. The remaining items from this section include:

1. Directory Sign: Provide draft example of a directory poster per 18.30.080 as follows:

A) A poster shall be installed at or near each entrance to such home park to assist fire, police and service personnel in locating particular home spaces within the park. The poster shall be at least five (5) feet by four (4) feet and shall depict an aerial view of the community in such a way as to identify homes by the number or letter to be posted at each home space. PER Each home space shall be equipped with a permanent sign with the appropriate number and/or letter having a minimum height of five (5) inches and a minimum stroke of one (1) inch, prominently displayed, showing the number or letter assigned to each such home space.

Response: A Way-Finding Poster has been added to the Landscape Plan. Refer to Sheet L1.00 for locations and Sheet S-1.00 for the detail.

B) Existing manufactured home parks/communities shall comply with the installation of a directory poster, and will not be considered legal nonconforming.

Response: A directory poster has been included with plans. Reference the Comprehensive sign plan on Sheet S-1.00

2. Controlling Documents: Covenants or similar documents to describe management of the site and to ensure compliance with requirements such as those in 18.30.110 (Storage, accessory structures) etc.

Response: Rules and Regulations will be established for this community as the controlling document. A draft of the Rules and Regulations have been included with this submittal.

E. Chapter 18.31 - Residential Neighborhood Design Standards

1. Homeowner's Association (Section 18.41.040): This section requires the creation of a Homeowner's Association in compliance with Colorado Common Interest Ownership Act standards.

Response: The nature of this type of community is managed more like an apartment complex than a SFD or SFA community and therefore no Homeowner's Association will be established. The land Owner along with their property management company will maintain the property. Any fees to the tenants will be rolled into the rents.

2. Minimum Subdivision Design Standards (Section 18.31.050): This section provides standards for lot layouts, fencing, lighting standards, sidewalks, etc. The project description and site plan shall be revised to address these standards.

Some of the standards may not be applicable as the internal circulation network for this project is private vs. being publically dedicated. For example, Item G speaks to the size requirements for *public sidewalks*, and this development will be private for use of the residents.

Thus the applicant may present a compelling argument that a sidewalk is not normally part of the communities and should not be required here if desired. For other elements, such as the solid perimeter fencing, this section of the Municipal Code does not differentiate between public vs. private uses and thus fencing is clearly required. Ultimately the requirements in this subsection must either be addressed in an updated project description, which could impact the final site plan layout as well.

Response: Noted. An updated project description has been provided to address why no internal sidewalks are proposed.

3. **Neighborhood Identity Features (Subsection 18.31.060):** This section describes the requirements for a neighborhood identity feature. The requirement for a single neighborhood identity feature is tied to the size of the property and the number of units proposed. The applicant is advised to provide a neighborhood identity feature and identify that on the site plan per the requirements of this sub-section.

Response: A neighborhood Identity Feature has been added to the site plan in the form of a Sport Court.

4. **Neighborhood Development Plan (Subsection 18.31.080):** This section requires submittal of a neighborhood development plan, being a conceptual master plan for this project. The requirements for a neighborhood development plan are outlined in this section of the Municipal Code, but are addressed by the site plan, the plat and the PUD Development Plan requirements. The Municipal Code does allow for approval of neighborhood development plans after approval of a final plat but prior to its being recorded. Under Item C 2. of the submittal requirements, the Code states the following:

Each NDP shall contain the following elements unless the Director of Public Works determines that one (1) or more of the elements are unnecessary *because all planning issues concerning the internal organization of the development and the relationship of the development to surrounding areas can be resolved through either subsequent subdivision or development review* for the development.

Because this section of the Code allows for provision of a neighborhood development plan at a later point in the review, and because the other elements of this section are addressed in other requirements, Planning Staff will seek clarification on if this will be required or not. Our intent is to provide the applicant with further direction when meeting with the Development Review Team to review these comments.

Response: Noted. Please inform us if the Neighborhood Development Plan will be required as soon as possible.

Other Considerations:

- A. **Density / Design / Layout:** It is not clear that the current density can be achieved if this project is to meet all other requirements, such as providing a neighborhood identity feature, guest parking areas, minimum set back requirements, sizes of units proposed, landscaping, etc. Lot 22 for example, could be removed and that area leading into the onsite detention basin used for a playground feature. Consideration of the standards noted by the City Planning Department and others is anticipated to require a reduction in the number of lots. While the

lots as shown meet the minimum size standards, addressing that requirement still must be considered along with other code requirements.

Response: The site layout and design has been modified to provide on-site parking and a neighborhood identity feature.

B. Tracts: In the next submittal please identify what the specific uses are as planned for areas identified as tracts.

Response: All tracts and their uses have been identified on the Cover Sheet.

C. Mail Delivery: Please identify where mail boxes will be located and ensure that the street area next to the mail box location is sized appropriately to allow the mail truck or other vehicles to pull off of the main street for collection/delivery.

Response: A Mail Kiosk has been added to this site plan.

Certified Funds Only for: Application Fee (non-refundable), First Month's Rent & Security Deposit -

Application Fee: \$_____

Security Deposit \$_

Monthly Space Rent: \$_

RENT INCLUDES WATER, SEWER AND TRASH.

MHP

Rules & Regulations

303-xxx-xxxx- emergency

Office Hours: (Appointments Recommended)

Monday: 10:00 a.m. - 6:00 p.m.

Tuesday - Friday: 9:00 a.m. - 5:00 p.m.

Saturday and Sunday: Closed

Upgrades Required _____

Awning (Front Door)

Wood or vinyl perimeter or chain link fence (**if you have a dog**)

Skirting-home & decks

Shed

Received on: _____

By: _____

I. GENERAL

Community Rules & Regulations will be strictly adhered to. Failure to comply with written warnings can result in an eviction.

READ THESE RULES AND REGULATIONS CAREFULLY, SHOULD YOU NEED CLARIFICATION, PLEASE FEEL FREE TO CALL THE OFFICE AT TO DISCUSS QUESTIONS WITH THE MANAGER, AS IGNORANCE IS NO EXCUSE.

Generally, your neighbors will appreciate your bringing to their attention any violations of park rules, rather than reporting such violations to Management. Therefore, it is recommended that residents endeavor to assist one-another in complying with the Rules & Regulations, and bring violations to Management only as a last resort.

REPEATED OFFENSES WILL RESULT IN A NON-RENEWAL OF LEASE.

- (A) **Registration:** All residents must register at the Management office prior to moving in. No additional person(s) except those originally approved for residency are to reside in a manufactured home without the written permission of Management. There will be an additional charge for criminal background for each new resident, age 18 and over, who were not listed on the original application. Park Management will enforce occupancy standards as provided by applicable laws and park rules. A security deposit equal to one month rent per home section is required prior to move-in. If Resident defaults with respect to any provision of the Lease or Rules and Regulations, Management may, at their option, use or retain all or any part of such deposit for the payment of any amount due Management arising from such default. In that event, Resident will within five (5) days after written demand, pay to Management a sum sufficient to restore the security deposit to its original amount plus applicable late charges. Residents understand that the deposit is not be deemed an advance payment of rent and no portion thereof may be used to offset any month's rent. Residents will provide Management with a forwarding address thirty (30) days per home section prior to termination of this Agreement. Failure to provide Management with applicable written notice, Resident forfeits the security deposit. Owners will refund the security deposit to the Resident at his new address, or write Resident at his new address, stating that Owner is electing to retain all or a portion of the deposit and explaining the reasons thereof.
- (B) **Rent:** The monthly rent may be delivered or mailed to the manager's office, or, if mailed, must be in sufficient time such that the rent is received on or before the first day of each calendar month. If rent is not received **by 5:00 p.m.** on the **fifth** day of a calendar month, Management may, without waiving its other remedies for such default, charge a late fee in the amount of **\$75.00** to cover its cost of processing, **plus \$5.00 per day thereafter** until paid in full. Management may also notify Residents' manufactured home financing institution of such default. All unpaid rent, late fees, fines, charges, legal fees/costs, etc., that remain outstanding as of the first of the month will be considered rent and be due and payable with the rent on the first of the following month. A fee of **\$35.00** will be assessed for any check which is returned unpaid. A returned check will also be assessed a **\$75.00** late fee in addition to the per-day charge and all other contractual remedies. Management will have the right at any time to adjust the base rent, late fees and/or any additional charges payable, except that no adjustment will be made unless sixty (60) days prior written notice thereof will be furnished by Management to the Resident.
- (C) **Occupancy:** Manufactured homes in this park are solely for **single family dwellings**. A bedroom is defined as a room originally designed for sleeping by the manufacturer. As per Adams County guidelines a maximum of two persons per

bedroom is required. Such manufactured home will be used and occupied by Resident solely as a private residence, and for no other purpose.

- (D) **Subletting:** The approved Resident is permitted to sublease the home with prior application and written approval from Management. Homeowner must occupy home for a minimum of two (2) consecutive years prior to applying for sublease and home may only be sublet for a period of no more than two (2) years and no more than one (1) subletting *ever*. All upgrades to the home and site will be completed prior to accepting an application for subletting. **Should Homeowner allow home to be sublet prior to Management approval, Homeowner will be given notice for the home to be removed from the park within 30 days and Homeowner agrees to move the sub-lessee out by that date.** The Homeowner will ultimately be responsible for assuring that the home site and the home exterior are maintained at a level that meet park standards *at all times*. Management will have the authority to contract any necessary labor to perform these functions and bill the Homeowner/Sub-Lessee as necessary to assure compliance. A new Lease will be required and the security deposit will meet current standards.

Residents ***must*** inform Management of any short term visitors or guests who reside in the home. If, any **guest occupies the premises for more than fourteen (14) days in a six (6) month period, the Resident will be charged \$10 per day per guest.** The park will have the right at its sole discretion to own and rent homes to approved residents.

- (E) **Sales:** A Resident may sell/transfer ownership of his/her home or sublease within the park subject to Management's determination that the home is and continues to be aesthetically appropriate for the continued location in the park, in the form of a "move out report". To maintain the high standards, Management has the right to reject a manufactured home because of its size, year, and/or appearance or that it does not meet park standards as described in Section IV. And V.
1. Homes may remain in the park providing the following upgrades are completed with 60 days of sale.
(Special consideration for upgrades within the 60 days must be approved by Management prior to Lease signing.)
Failure to complete all upgrades within 60 days will be grounds for an eviction.
 2. All exterior colors are to be aesthetically pleasing and approved by Management.
 3. No tears, cuts or holes are to be in exterior siding.
 4. Skirting of all units and decks/porches will be vinyl or Masonite siding or otherwise approved material (in writing) and will be as similar as possible to the color of the home or the trim. No cuts, holes or dents to be in the skirting.
To be completed within 60 days of move-in.
 5. The front and back doors will have a weatherproof, wood deck, steps, and handrail (min 4' x 4', max 8' x 12').
 6. Front entryway will have an awning which will be a fire rated surface.
 7. One wood, brick, or vinyl shed is required per space. Color to compliment or match home, pitched roof with fire-rated shingles is required on the shed. Metal sheds are not allowed.
 8. All buildings/structures/decks will be properly maintained at all times (paint & repair).
 9. Space numbers are to be on all homes minimum 6" in height, of a contrasting color.

For more information on specifications, See Sections IV. and V. (B)

- (F) Credit history, criminal background check, and approval from Management are required prior to sale or subletting the home, see applications for cost; this is non-refundable and payable at the time of application. A security deposit (equal to one month's rent) and the first month's rent are required prior to occupancy. Home and all appurtenances will be within property lines. If the home has been sold and application is denied, Management has the right to request the home be removed from the park within thirty (30) days.
- (G) **Radios/TV:** Exterior amateur and Citizen's Band radios and antennas are not permitted in the park. Small satellite dishes (18" or less) are permitted. Large satellite dishes are not allowed.
- (H) **Telephone Messages:** Telephone messages, **will not be accepted and/or delivered by management office** except in cases of medical or police emergencies. Inform your visitors of your telephone number and space number. Telephone numbers and space numbers will not be given out by Management to visitors.

- (I) **Patio/Yard Sales:** Patio and yard sales are allowed on Labor Day and Memorial Day weekends, weather permitting; if not, they will be the following weekend.
- (J) **Soliciting:** No soliciting or delivering of hand bills or peddling is allowed in the community.
- (K) **Objections:** All complaints/objections concerning Resident conduct or park Management must be in writing and signed with a space number on order for any action to be taken. Complaints against Management or Management employees can be faxed to 720-836-3289 or mailed to P.O. Box 202319, Denver, CO 80220.
- (L) **Resident Insurance:** Residents' acknowledge that Management does not insure Residents against loss of personal property on the premises due to fire, theft, vandalism, or other casualties or causes, or acts of God. Residents are responsible for obtaining insurance in such amounts as Resident may desire for Residents' own property, covering fire and casualty loss and for Residents family for liability insurance coverage.
- (M) **Utility Connections:** All manufactured homes must be hooked up to existing park utilities. The park will provide the proper water, sewer, electrical and gas connections to each occupied sight (not to the home). The Resident of the home will be responsible for proper, safe and complete installation of these services plus connections and burial of telephone and cable lines to the home. Sewer and water connections must be made in a manner so as to prevent freezing and leaking and must include proper freeze protections such as heat tape and heat stick which will be installed and maintained by Residents of the park. **Do not tamper** with any water, gas or electric utility connections. Any sewer stoppage or water freezing/leaking attributable to the Resident will render the Resident fully responsible for unclogging and/or repair. In the event the park makes repairs, the amounts will be added to the Resident's rent. Resident is responsible for water and sewer line from the ground connection, including ground connection to the home. Residents are responsible for providing a garden hose connection and main shutoff valve to the home at homeowner's expense.

II. VEHICLES

- (A) **Parking:** Due to limited parking spaces, there is a **limit of two (2)** vehicles per space, unless the driveway parking accommodates more vehicles. Residents are required to **park all vehicles** in their driveway (if a driveway is provided). **(Driveway parking implies an asphalt slab 4" deep, 9' x 19' per vehicle) NOTE: Any parking areas that were previously rock, sand, stone or wood are not a proper driveway. Driveway areas that were not in accordance with "a proper driveway" now have 120 days to be in compliance.** Residents and their visitors of are not permitted to park on surfaces not specifically designated for vehicle parking. Residents' guests are requested to park in Residents' driveways (if space is available) or designated parking areas around the park. Do not block driveways; be cautious of parking directly across from a driveway. Vehicles are to be parked next-to and parallel to but no more than 12" from the curb. No parking at vacant spaces or unoccupied homes. Double parking is not permitted. Red curbs mean No Parking and your vehicle can and may be towed without prior notice to owner of vehicle. **There is no street parking in the cul-de-sac.**
- (B) **Speed Limit:** Speed limit in the park is **10 miles per hour**. Excessive speeds and reckless driving endanger the lives of park Residents and are a violation of the Rules & Regulations which may result in termination of your tenancy in the park.
- (C) All Residents' vehicles must be registered with the office. The year, make, model, color and license number of the vehicle is required. This must be kept up-to-date at all times. All vehicles must be registered within Adams County within 60 days of acquiring the vehicle or moving into the state, county or park.
- (D) **Stop Signs:** They are for everyone's safety. Vehicles and bicycles, scooters, skateboards will stop at all stop signs.
- (E) **Motorcycles, ATV's or Motorbikes (Street Legal Motorized Vehicles)** within the park must be equipped with operable mufflers and may only be used for entry and exit of the park. "Cruising" in the community is prohibited. Motorcycles or motorbikes may not be parked on porches or decks. If motorcycles or motorbikes are parked on asphalt caution must be taken by Resident or Residents' guest to avoid damage to the asphalt, such as placing a piece of wood under the

motorcycle or motorbike's kick stand. Damage caused to the asphalt by improperly parked motorcycles or motorbikes will be repaired at Residents expense. In addition any damage caused to asphalt or cement by fluids from improperly maintained vehicles of any kind, will be repaired at Residents expense.

- (F) **Excessive noises** of vehicles are not permitted. Mufflers are to be maintained. Radios, stereos, boom boxes, revving of engines and bass noise levels must be kept to a minimum at all times, so as not to disturb the peace and quiet of other Residents.
- (G) Inoperable, junk, or unlicensed/unregistered vehicles or vehicles not regularly used for transportation may not be stored on any public or private property within the park. Any vehicle that is inoperable, partially or totally dismantled, on jacks (blocks) or that is wrecked or damaged to the extent that it would be unlawful to operate on a public street or highway, or otherwise prohibited by this paragraph is not permitted in the park.
- (H) Only two axle vehicles with a gross maximum weight of (1) one ton are permitted in the park. All resident vehicles in the park must be street-legal and properly licensed in Adams County at all times. All vehicles in the park must be street-legal and properly licensed
- (I) **Commercial Vehicles:** At no time can commercial vehicles (i.e., semi tractor trailers, tow trucks) be in the park, ever. Exception: for setting or removing a home; delivery trucks making a delivery or pick-up, construction vehicles being used for construction purposes (with Management approval), tow trucks for the purpose of towing vehicles out of the park and emergency vehicles: police, ambulance, and fire trucks only.
- (J) Dirt bikes, ATV's, go-carts, golf carts, motorized: skateboards, scooters, and the like (motorized or non-motorized) are not permitted in the park.
- (K) **Vehicle Maintenance:** No maintenance, overhauling or placing vehicles on blocks or jacks are permitted. Any damage caused to asphalt or cement by fluids from improperly maintained vehicles will be repaired, by Management at Residents expense. Vehicles that have oil leaks must be repaired promptly (not by placing absorbent material under leak) to prevent damage to the driving/parking surface, however, repairs cannot be done in the park. All vehicles in the park must be maintained in operating condition (Management has the right to ensure that vehicles are operable) with current license plates and valid emissions stickers displayed for the Adams County. **Note:** Vehicles with flat tires are not operable and must be repaired within six (6) hours (flat tires can be changed in the park).
- (L) **Bicycles/Skateboards/Scooters** are subject to Rules of the road. They will be ridden on the correct side of the street and obey all stop signs and yield right-of-ways as necessary.
- (M) Vehicles are not to be used as a storage facility, i.e., household items, bikes, toys, construction material, ladders, boxes stored in the backs of pickups or inside vehicles.
- (N) A parking pass must be displayed on all vehicles in the park. Parking passes are issued by management. All parking passes must be returned to management within 48 hours of vacating the home or the fee will be deducted from the security deposit. Only one security deposit refund check will be issued.

ANY VEHICLE VIOLATING THE ABOVE CONDITIONS OF SECTION II., REGARDLESS OF ITS PARKING LOCATION IN THE PARK, WILL BE DEEMED TO BE PARKED ILLEGALLY ON PRIVATE PROPERTY AND TOWED WITHOUT WARNING, AT OWNERS' EXPENSE.

III. RECREATIONAL VEHICLES

- (A) No recreational vehicles (campers, travel trailers, boats, boat trailers, car trailers, tent trailers, utility trailers, motorcycle trailers, motor homes, one-ton and larger-chassis mounted campers, detached pick-up campers, ATVs, snowmobiles, ski jets and the like) may be parked on the home site, with the exception of loading, unloading or cleaning for a period not to exceed six (6) hours.
- (B) Under no circumstances may individuals reside in recreational vehicles - for any length of time. These vehicles must be put in storage outside the park.

ANY VEHICLE THAT DOES NOT MEET THE CONDITIONS OF SECTION III., REGARDLESS OF ITS PARKING LOCATION, WILL BE DEEMED TO BE PARKED ILLEGALLY ON PRIVATE PROPERTY AND TOWED WITHOUT WARNING AT OWNERS' EXPENSE.

IV. MANUFACTURED HOME SITE: LINE LOCATORS - 811

- (A) Manufactured home sites will remain under direct control of the Management. **Resident Are Responsible for Obtaining Any and All Building Permits and Submitting a Copy to Management Office Prior to Work Starting.** Homes must be situated on the lot at the direction of Management. Space numbers are required on all homes. Numbers are to be a minimum of 6" high and a contrasting color to the home.
- (B) No commercial or business activity or enterprise will be conducted in the Community if it interferes with parking or other Residents harmony. The installation and the construction of any subsequent improvements will also be in accordance with applicable codes and governmental requirements. Residents will not allow the land or improvements to become subject to any mechanic's or similar lien arising out of labor or services performed by or at the request of Resident.
- (C) **Skirting:** Homes and decks (landings) must be vinyl skirted within 60 days after entering the park. With written permission from Management, unusual circumstances will be given consideration. Manufactured **home hitches must be removed**. Skirting must look attractive and free from holes, chips and dents and the color must compliment the color of the home or trim. Alternatives to vinyl must be approved in writing by Management.
- (D) **Exterior Additions:** Residents may construct entryways only with written approval of park Management. The structures must be constructed of Masonite, wood with a fire rated shingle-surface to match existing shingles (if applicable). They must be well constructed, neat and painted to compliment the home. **No** exterior additions may be used for habitation. Adams County Permits are required for all additions.
- (E) **Sheds:** Only one (1) shed per space is **required**. The shed is required to be Masonite (no particle board), vinyl siding or cinder block. Sheds must have pitched roofs with fire rated shingle-surface. Shed doors are to be operable and remain closed at all times when not in use. Sheds are to be located in the rear of the lot (unless authorized in writing by management) and are not permitted to obstruct water, sewer, or utility lines. Residents must submit plans for the design and location of such sheds to park Management and obtain written approval for both the installation and design of sheds. Should repairs be needed on any water, sewer, or utility lines and a shed is obstructing the repair, Resident is responsible for the removal of the shed and its' contents. Sheds must be well constructed, neat, and attractive and painted to compliment the home. **Maximum size of shed is 8' x 10'. Minimum size of shed is 4' x 8'.** Shed walls are not to exceed 8' in height, and are not to block the drainage ditch (for home in the cul-de-sac). **All sheds are to be properly maintained (painted) at all times.** No **unsightly storage** of bottles, cans, boxes, bags, appliances, lawnmowers, or unused/unwanted equipment - they are to be stored in the shed with the door closed.
- (F) **Awnings:** The front entrance **must** have an awning. It must cover the entire surface of the deck. This must be finished

within 60 days of move-in. However, this may be extended because of inclement weather at the sole discretion of Management. Awnings must be well constructed, stable, neat, attractive and painted/stained to compliment the home or trim at all times.

(G) Patios/Decks/Landings: All homes (new or used) must have a wood landing (**minimum 4' x 4' and maximum 8' x 12'**) with appropriate wood handrails, guardrails and wood steps. The landings must be well constructed, secure, stable, neat, attractive and painted/stained to compliment the home or trim. These are not to be used as storage areas. If the landing is 34" or more above grade level, handrails are required, if 36" or more above grade level guardrails are required.

(H) Roofs: Sheet metal roofs must be maintained annually.

(I) Fences: All fences must be maintained and approved in writing by Management prior to construction. Fences will be maintained on a regular basis. Utility boxes must have a 3' clearance around the boxes. Fences less than 42" do not require a building permit. Only perimeter fences are permitted (exception corner lots). Fences are required for dogs.

1. Minimum 1 foot setbacks from all curbs to the front of fence face.
2. Chain link fences are allowed.
3. Wood or vinyl fences or chain link are not to exceed 4' high and must be properly maintained.
4. A gate is required for all fences.
5. Locked gates are not permitted.
6. Decorative fencing at the edge of the curb is permitted, not to exceed 22" in height and be well maintained. Alternative fencing materials must be approved in writing by Management. Maximum height is six (6) feet.

(J) Driveways/Designated Parking Areas: are to be kept clean, free of dirt, weeds, construction material, batteries, cardboard, crates, toys, chemical compounds, vehicle fluids (i.e., oil, transmission fluids, brake fluids, etc.).

(K) Unsafe Structures: Any building or structure (homes, sheds or any other kind of building) which presents a substantial danger or hazard to public health or any dilapidated, deteriorated or decayed building of whatever kind or abandoned buildings, homes, sheds and other unused or un-maintained structures. Management reserves the right to require that any such structures be boarded up, removed, or torn down, as Management sees fit, to prevent accidents, health hazards or rodent, or insect infestation, or transient human habitation. If such structures are not boarded up, removed, or torn down at Management's request, Management reserves the right to tear down or board up such structures. In such cases, Resident will be responsible for the cost incurred by Management and this amount will be added to rent.

(L) Mailboxes are provided for each space, with a space number. Any damage to the mailbox, post or space number on that mailbox is the Residents' responsibility.

Note: All construction is to be completed within a reasonable length of time and must be maintained on a regular basis.

STRUCTURES CAN BE REJECTED BY MANAGEMENT BASED ON LOCATION, QUALITY OF MATERIAL OR WORKMANSHIP. Plot plans are required prior to application for building permits. Plot plans are available at the Management office. 24 hours before you do any planting or digging please call line locators to come out and mark where all the water, sewer and gas lines are so that there isn't any problems, **Line locator #1-800-922-1987.**

V. EXTERIOR CARE

(A) Bicycles, toys, will be stored out of sight. Lawn furniture, barbeque grills, etc. will be kept in a neat and orderly manner.

(B) Home Care: The exterior of the home will be in good repair, with paint in satisfactory condition. Siding will be clean and free of dents and other damage. Windows, storm doors, storm windows, and screens will be kept in good condition. *All window dressing (viewed from the street) must be neat and orderly (no bed sheets, blankets, torn curtains, or bent dilapidated blinds, etc.).* Inspection of all homes will be done periodically and upgrades will be completed as requested by

Management.

- (C) **Snow Removal:** Residents are solely responsible for sidewalk maintenance including removal of snow and ice from their sidewalks/driveways. Snow and ice must be removed within 24 hours after snow storm ends. Sidewalks must be maintained in a safe condition. Residents are solely responsible for liability arising from failure to maintain safe and accessible walkways. Any vehicle double-parked on the street at the time that snow removal is necessary will be considered a safety hazard and will be towed without prior notice and at the owner's expense.
- (D) **Rubbish:** Trash will be kept in containers with a lid, not to exceed 32 gallons, so as not to attract unwelcome varmints. Trash bags *are not to be used* in place of containers. Space numbers or names should be placed on the lid and containers. Any containers/lids without identification located in streets or common grounds will become property of the park. Trash containers or other Residential related storage will not be kept in front of the dwelling or where it is visible from streets. Resident will not permit or allow any rubbish, waste materials and/or other items of discard able condition to accumulate upon the premises. Rubbish must be disposed of weekly. Trash pickup is on **Tuesday. No containers weighing more than 40 pounds.** Containers must be out by 7:00 a.m. the morning of pickup, but no earlier than 5:00p.m. The night before trash is due to be pickup. Containers must be stored out of sight by the end of the trash day. *The following day trash containers will be put behind the home by park personnel at a cost of \$10 per can.* Branches should be cut into 4' lengths, bundled and tied with strong rope or twine. Do not put boxes, bags or containers other than proper trash containers outside the home. If regular pickup day falls on a holiday during the week, pick-up will be one day late the rest of the week -- **observed holidays:** New Year's Day, Memorial Day, July 4, Labor Day, and Christmas. No appliances or large items will be picked up by the trash company. Please make other arrangements for disposal. Call **Waste Management Disposal, phone # 303-289-2529, to make arrangements for other items at an extra fee to the Resident.**
- (E) **Lawn Care:** Residents must keep their premises and homes neat and orderly at all times. If the Resident fails to keep the lawn properly mowed, maintained or watered the park may do so at a minimum charge of \$100.00. Failure to properly maintain the premises or mow or water the lawn is a breach of these Rules & Regulations. (Grounds keeping: trim next to curb, fencing, driveways, home, decks and weed driveway cracks, mow and weed.) **Weeds must be kept under control.** After mowing/cutting grass - Any grass clippings on streets/neighbors yards must be cleaned up immediately. Residents are also responsible for keeping their lawns and lot spaces clear of trash and junk, toys, bicycles, appliances, vehicle parts, building materials, indoor furniture, and all other materials **not specifically designed for the purpose of landscaping or yard decoration.** Trash and junk: Is in part, but not limited to, the outside storage or accumulation of trash, junk, garbage, weeds, parts of machinery, appliances, wood, metal, dilapidated signs, fences, retaining walls and other cast-off material which cannot be stored in the open. Landscaping equipment must be stored properly in shed or out of site from street and other Residents view.
- (F) Zeros cape is permitted. Should you desire to have zero or low landscaped areas, it is your responsibility to assure there is no grass or weeds in those areas. Resident must submit a plan to Management for approval prior to Xeriscape any part of the leased premises.
- (G) **Shrubs and Trees** are the Residents' responsibility. Trees and shrubs may not be planted without prior written approval of Management. As set forth below, it is Residents' responsibility to contact line locators prior to planting of trees or shrubs within the park. No trees or large plants are to be planted directly in front of the home. Trees are to be kept trimmed. Bushes are to be no higher than 3' and are to be trimmed from the ground up 12". This is a requirement for your safety and protection.
- (H) **Graffiti** is illegal - report incidents to the Sheriff's department and park Management office.
- (I) **Homemade/Store Bought "Ramps"** (made of wood, concrete, dirt, or other materials) are not permitted on common grounds, at the curbs into the driveways or on the streets or sidewalks are not allowed and will be removed by park employees. Residents will be charged with any costs associated with the disposal.

- (J) **Citizen Signs** are not allowed on utility poles, regulatory sign posts or in the right of way. Citizen signs include, but are not limited to yard sales, lost pets, handbills and homemade signs.
- (K) **Digging:** Manufactured home parks, of necessity, contain extensive underground facilities, including electrical transmission lines. Prior to digging line locators must be notified, as you are responsible for all damage caused by digging. Please use this number to verify lines prior to positioning a shed. **Call 1-800-922-1987 for locators.** This does not include water & sewer locations.
- (L) Piles or accumulations of gravel, dirt, or other landscaping materials must be removed by the Resident within 24 hours.
- (L) Objects are not to be placed on roofs, awnings (i.e., mattresses, scrap lumber, bricks, tires, etc.).

REPEATED OFFENSES WILL LEAD TO AN EVICTION.

VI. USE OF LEASED PREMISES:

- (A) **Right of Entry:** Each Resident's premises, including his leased lot, home and all appurtenances, is for the exclusive use of that Resident (not other Resident's, their children, or guests). Management will have right of entry upon the land on which a home is situated for maintenance of utilities if the occupant fails to do so. Residents acknowledge and agree that during the term of this Lease, Management or its agents may enter the leased premises for purposes of necessary or agreed upon repairs, to contact Residents or inspect space, cleaning, inspections, posting of notices or utility bills or for any other purpose necessary to park Management. Or in the event of an emergency, to perform acts Management deems necessary for the protection of the property or safety of persons. Residents agree not to hold Management, its employees or agents responsible for any such acts performed by Management while acting in such emergency capacity. This means no locked gates are permitted. Management or Management representative may enter home without prior written consent of the occupant in case of an emergency or when the occupant has abandoned the home.
- (B) **Trespassing:** Trespassing is not permitted. Management or its authorized agents may enter the premises at reasonable times and hours for periodic inspection, legitimate park business. Vacant lots cannot be used for storage, play areas or for any other purpose. No parking on the landscaped portion of the lot or in a vacant lot is permitted. **Residents having been evicted from the park are trespassing if they return to park property (this includes entry to visit with other Residents at their homes). Residents that allow past evicted Residents & their families are in violation of this offense.**
- (C) **Requests:** Please do not give instructions to or make requests of the maintenance/grounds personnel. All requests should be made in writing to Management.

VII. CONDUCT/NOISE/COURTESY

- (A) Resident will not interfere with the lawful and proper use and enjoyment of the Community or any part thereof, including common areas and other manufactured home spaces. Residents will not permit the playing of audio/visual appliances such as radio, television or musical instruments, or the making of any other sounds or noises at levels loud enough to be not heard by other Residents nor become a nuisance or disturbance to others.
- (B) Lawnmowers and other power tools will not be operated before 7:30 a.m. Monday through Saturday, not before 8:30 a.m. on Sunday, and will not be used after 10:00 p.m. on any evening.
- (C) Public drunkenness, boisterous conduct, threats, harassment or foul language **is not permitted** and are grounds for immediate termination of tenancy upon Management posting a ten-day notice. Please notify the local law enforcement, and park Management office.
- (D) **Residents are responsible** for the conduct of their children and guests at all times in the park. Repeated or serious violations of conduct by Residents, their children, visitors or guests are grounds for eviction or denial of the use of a

facility.

- (E) Basketball, football, baseball, hockey, soccer, and other team sports are not to be played in the streets.
- (F) **Basketball nets are not permitted. Trampolines are not permitted. Within sixty (60) days all existing trampolines and basketball nets are to be removed from the park.**
- (G) Skateboards, roller blades, bikes and sleds will be allowed on the level areas of the park. None of the above are to be at the entrances to the park unless they are entering or exiting the park. **No sleds, roller blades, or bikes are allowed on the common grounds.** Common ground refers to landscaped areas in the park. Materials which are used for the expressed purpose of sleds (cardboard) will abide by above rules. **Under no circumstances will a vehicle pull sleds, roller blades, bikes, wagons, etc. through the park.**
- (H) **Arrests** for public drunkenness, illegal activities (i.e., drugs and paraphernalia, prostitution, sex offences, gang activity, public nuisance, violence, trespassing, harboring a criminal or runaway, criminal mischief, vandalism, burglary, etc.) are grounds for immediate termination of tenancy upon Management posting a ten-day notice.
- (I) **SEE ATTACHED CRIME FREE LEASE ADDENDUM FOR MORE INFORMATION.**

VIII. FIREWORKS/FIREARMS

The use of fireworks, firecrackers, bb guns, paint ball guns, air pistols or rifles, and/or other firearms are, under no circumstances, allowed in any area of the park. See Crime Free Lease Addendum for more information. A violation of the above will result in an immediate termination of tenancy upon Management posting a ten-day notice. Resident will be responsible for the cost to repair any damage resulting from such use.

IX. ANIMALS AND PETS

- (A) **All domestic pets must have a pet agreement on file at the park office.** There is a limit of two (2) domestic pets per home. Farm animals or pot belly pigs are not allowed inside the park. **All pets are to be indoor animals.**
- (B) **Residents will not keep any pet for breeding purposes.** All animals are to be spayed or neutered at the proper age. Residents agree to supply Management office, prior to pet taking occupancy, proof of the following: (1) appropriate shot record for pet(s), (2) proper animal tags & licenses (animals must be registered with Adams County)(3) proof of spaying or neutering of dogs and cats by age six (6) months (4) a picture for the file for all dogs and cats (5) photograph of the animal(s) supplied by the owner, or Management will take a photograph of the pet for a \$3.00 fee (6) All dogs require a fenced yard around the perimeter of the space. **See Roman numeral IV, Section (J)**
- (C) **Dogs maximum height at maturity (one year of age) is 20 inches for two (2) dogs (absolutely no exceptions).** For Residents with only one (1) dog there is no height limit. **The following breeds are not allowed in the park: Rottweiler, Doberman pinchers, pit bulls, chows or any mix thereof (excluding miniature pinchers).** No dog with a history of aggressive or violent behavior or, with a known propensity for violence will be accepted into the park. Dogs approved into the park prior one (1) year of age must be returned to the Management office at one year of age to be checked for height (this is for families with two dogs). Failure to comply will result in automatic termination of pet approval. Dogs that are grand fathered in and pass away can only be replaced with animals that meet these requirements. **Dogs are not considered grand fathered in, if the paperwork was not completed by June 13, 2006 for the animal.**
- (D) Noisy or unruly pets in which justified complaints are received or pets not properly registered, will not be permitted to remain in the community. Upon notice being given, the pet must be removed from the community within (5) days or the Residents' tenancy will be terminated. No animal that has been removed from the community because of a violation will be permitted back into the community.
- (E) Resident agrees to be responsible for any damage to persons or property caused by his/her pet and to indemnify and hold Management harmless therefore. If an animal has harmed a person or another animal, the animal is to be removed from the park **immediately - NO EXCEPTIONS.**
- (F) All pets are to be kept quiet so as not to disturb other Residents. No pet will remain outside, while no one is home for

more than 30 minutes. **Dogs are not to be left outside all night.** No dogs are to be outside between the hours of 10:00 p.m. and 6:00 a.m. unless accompanied by the owner. If the dog starts barking, the animal must return inside immediately.

- (G) Proper cleaning up of all pet waste is to be performed by Resident immediately so as to maintain a clean and healthy environment.
- (H) No pets will be allowed to run freely upon the common ground of the community at any time. No pets are allowed in the pool area. All pets must have a collar with an identification tag at all times and are to be kept on a leash as proscribed by law. Residents agree not to attach, tie or restrain pets to trees, banister, patios/porches, fences, poles or automobiles, etc. **If pets are loose and captured by community personnel, a \$200.00 fine will be assessed.** If pet is found running loose in the park with no identification, it will be treated as a stray and will be removed by the Adams County Animal control or other suitable agency. Animal control: 303-288-3294.
- (I) Do not feed stray animals or allow them shelter as this will attract unwelcome varmints (skunks and raccoons). Residents caught putting food out for animals and not enclosing areas that varmints can find shelter are subject to a minimum \$150.00 fine.
- (J) All dogs must have a fenced yard to run in (the perimeter of the space). No dog runs are permitted. No dog is to be chained or tied up in the yard. Dogs are not to be left outside if **NO** one is home.
- (K) No pet sitting is allowed, for any reason, for any length of time.
- (L) Any animal harming or threatening Management personnel while doing their designated tasks will be removed from the park immediately.
- (M) Residents that have been requested by Management to have the animals removed from the park two (2) times will no longer be eligible to have pets in the park.

X. LAUNDRY

- (A) **Laundry Rooms:** Proper handling and attentive supervision of your laundry while washing and drying in the community laundry room is the resident's responsibility. Please remove your wash as soon as it has finished as others may wish to use the equipment. Please clean up after using machines and place waste in containers. Dyeing of clothing and material is not permitted in the machines. Children are not allowed in the laundry room without adult supervision. Management is not responsible for lost or damaged clothing. Read directions on machine. Please do not overload the machines. Use the heavy duty machines for small rugs, blankets and large loads. Re-adjust loads if the basket bumps

CLOTHES LINES ARE PERMITTED. LAUNDRY IS NOT TO BE HUNG OUTSIDE THE HOME ON FENCES.

XI. SWIMMING POOL, CLUBHOUSE, LAUNDRY ROOM COMMON AREAS

The common facilities are for the mutual use and enjoyment of all Residents and their guests, when accompanied by Resident. Use of the common facilities, i.e., community grounds, and pool area will be at Resident's risk. ***Scooters, bikes, skateboards, etc., are not allowed in the pool area, laundry room or in the clubhouse.*** Management will not, at any time, provide supervisory personnel. Residents and guests must abide by the Rules and hours posted in the applicable areas.

- (A) Please cooperate with the procedures posted in each specific facility area, with the realization that they are designed to ensure the fullest enjoyment by everyone. These facilities add a great deal to your home. They give each Resident the advantages of belonging to a community club, a social club, and provide meeting places to make friends: all accomplished within easy walking distance of your home.

- (A) Residents should take care to share all community facilities, games or pieces of equipment. Residents will be responsible for ensuring that their children and guests observe all park Rules and Regulations.
- (C) No alcoholic beverages are permitted in these areas unless it is a private party and then only with a licensed security guard at Residents' expense. No glass is permitted in the swimming pool area. Swimming is at your own risk. **No life guard is on duty. No diving into the pool. No wet shoes/feet are allowed in the clubhouse or bathrooms.** A swimming pool waiver must be signed and key issued to gain admittance for you, your family/friends in the pool area.
- (D) **No abusive language** will be tolerated in or around the clubhouse, pool, laundry room or office.
- (E) **A \$300 refundable deposit is required when reserving the clubhouse.** Any damages will be taken from the deposit. If damage exceeds \$300, Resident must pay the additional amount. **NOTE: Clubhouse rental does not include the use of the pool or pool area.**
- (F) Residents and guests must wear shoes and shirts in the clubhouse. Children under the age of 14 and guests are not allowed to use an adult resident's key for access to the facilities. A Resident must accompany their guests.
- (G) Keys will be issued to the registered owner of the home for the clubhouse, pool and laundry room; if keys are lost or stolen a \$75.00 replacement fee will be charged. Children and unauthorized guests are not allowed to use a parent's key for access to the facilities. Keys are not to be lent to other Residents in the park. Should a key be confiscated, a \$75.00 fee will be assessed for the return of the key and if damage has occurred, the authorized key holder will be financially responsible for any repairs. Keys are to be returned within 48 hours of vacating home, or the fee will be deducted from resident's security deposit. Only one security deposit refund check will be issued.
- (H) Management and its agents' have the right to request that any person violating Rules & Regulations submit their key and leave immediately.

See specific posting for these and other Rules & Regulations for these areas.

XII. WATER USAGE

- (A) Water leaks must be corrected immediately. Do not waste water by watering or cleaning streets or driveways.
- (B) Repair of water lines from the riser into the ground is the park's responsibility. Repair from the riser to the home, as well as heat tape and heat stick is the homeowner's responsibility. One heat stick is supplied to each homeowner: it is homeowners' responsibility to insure it is plugged in during winter months. If Resident fails to maintain heat tape and/or heat stick for the home and it causes the riser or below ground to freeze, the Resident is financially responsible to pay for repairs and damages. If heat stick fails, it is Residents' responsibility to replace it
- (C) If excess water usage is noticed, at Managements sole discretion, a ***minimum \$50.00 per day*** charge will be assessed to Residents' rent. Excess water usage includes but is not limited to wasting of water, running water on concrete, roads or down driveways, misdirected sprinklers, failure to repair water leaks, leaking swamp coolers and overuse of water at home site in excess of average Residential use levels.
- (D) During those periods of time when Denver water has restricted water usage for drought conditions, the park restrictions will be more restrictive and additional charges of \$100.00 minimum will be assessed to the homeowner as rent and due within 10 days. Notice will be posted for watering schedules. Absolutely no washing of vehicles, homes, and driveways will be allowed. Water running in gutters will also result in a fine. Restrictions and charges can be amended in the future.

XIII. MOVE-INS AND MOVE-OUTS

- (A) Management is not responsible for the move-in or move-out of your home. Residents must notify Management at least two (2) working days before moving the home. Resident, dealers or transporters are responsible for any and all damages done to park property as a result of moving in or moving out. All damage to utility services, shrubbery, lawn, curbs, drains are the responsibility of the moving Resident. All permits required for installation or removal of a home, are the homeowner’s responsibility. Damage may be charged to Residents’ security deposit at Owners’ discretion.
- (B) A thirty (30) day written notice must be given to Management prior to move-out. (A sixty [60] days notice for doublewide home.) A maximum of 72 hours is allowed to remove all belongings and to clean up area. Residents hereby give Management full authority to discard any remaining personal belongings as abandoned and to clean the area at Residents’ expense for failure to do so.

XIV. FINES AND FINE SCHEDULE

- (A) Any and all violations of the Lease/Sublease Agreement, or the Rules and Regulations may result in a fine being assessed against the Homeowner/Sub-Lessee. Except as specifically stated otherwise in the Lease or Rules and Regulations, the fines will be assessed in the following manner:

First Offense	\$ 25.00 (minimum)
Second Offense	\$ 35.00 (minimum)
Third Offense	\$50.00 (minimum)

- (B) Any fine assessed and remaining unpaid after ten (10) days will be considered rent for, and is due and payable no later than the first of the following month.
- (C) A Homeowner/Sub-Lessee wishing reconsideration of the assessment of a fine may do so by contacting the Community Manager **in writing** within five (5) days of receiving a violation notice and fine. Appeals should be made as stated in Paragraph 23 of the Lease.
- (D) The assessment of a fine for any violation of the Lease/Sublease Agreement, or the Rules and Regulations, does not in any way waive other rights and remedies available to Management pursuant to the Lease/Sublease agreement, or the Rules and Regulations, including Management’s right to post a demand on Homeowner/Sub-Lessee.

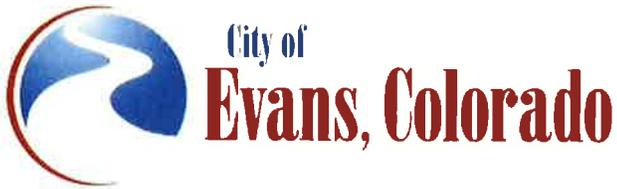
XV. ACKNOWLEDGMENT

RESIDENT HEREBY ACKNOWLEDGES THAT HE/SHE HAS READ THESE RULES AND REGULATIONS AND UNDER STANDS THEM IN THEIR ENTIRETY. RESIDENT ALSO ACKNOWLEDGES THAT VIOLATION OF THESE RULES AND REGULATIONS DETRACT FROM THE QUIET AND PEACEFUL ENJOYMENT OF THE RESIDENTS, BECAUSE EXPENSE AND REDUCE PROFITABILITY FOR MANAGEMENT. THEREFORE RESIDENT SPECIFICALLY AGREES THAT FAILURE TO PAY ANY FINES ASSESSED CONSTITUTES GROUNDS FOR EVICTION IN THE SAME MANNER AS FAILURE TO PAY RENT.

Rules & Regulations

Addendum I

- VI. (H) Keys will be issued to the registered owner of the home for the pool; if keys are lost or stolen a \$75.00 replacement fee will be charged. Children and unauthorized guests are not allowed to use a parent's key for access to the facilities. Keys are not to be lent to other Residents in the park. Should a key be confiscated, a \$75.00 fee will be assessed for the return of the key and if damage has occurred, the authorized key holder will be financially responsible for any repairs. **Keys are to be returned within 48 hours of vacating home, or the fee will be deducted from resident's security deposit. Only one security deposit refund check will be issued.**
- VII. (F) **Basketball nets are not permitted. Within sixty (60) days all existing basketball nets are to be removed from the park. Trampolines ARE NOT permitted **.** ****Within sixty (15) days all owners of trampolines MUST removed from the park.**
- IX (G) No pets will be allowed to run freely upon the common ground of the community at any time. **No pets will be allowed in the pool areas.** All pets must have a collar with an identification tag at all times and are to be kept on a leash as prescribed by law. Residents agree not to attach, tie or restrain pets to trees, banister, patios/porches, fences, poles or automobiles, etc. **If pets are loose and captured by community personnel, a \$200.00 fine will be assessed.** If pet is found running loose in the park with no identification, it will be treated as a stray and will be removed by the Adams County Animal control or other suitable agency. Animal control:.



Engineering Division
1100 37th Street
Evans, CO 80620-2036
Phone: 970-475-1170
Fax: 970-330-3472
www.evanscolorado.gov

MEMORANDUM

DATE: February 25, 2016
TO: Jim Feehan, Applicant
FROM: Dawn Anderson – City Engineer
C.c. Sean Wheeler – City Planner
RE: **Bella Vista: PUD 2nd Review**

The City of Evans Community Development Department has reviewed this *Development Review* request. Comments made during this phase of the review process may not be all-inclusive, as other concerns or issues may arise during the remaining application process. The issues raised in this report must be addressed before staff can schedule the request for a public hearing.

COMMENTS

The applicant is proposing to redevelop the approximately 5.9 acre site located on the northeast corner of 37th Street and Trinidad Street within the City of Evans and known as Bella Vista for residential uses comprised of single-family manufactured homes.

Site Plan:

- S1 – The applicant shall provide locations of all proposed signs and lights. A complete sign permit, including specifications for the signs and lights, including type, height and general conformance to the code.
- S2 – The applicant shall provide more information on public trash removal or show trash disposal areas and enclosures including specifications for said enclosures if applicable.
- S3 - The applicant shall update all existing and proposed sidewalk and accessible handicap ramps and reference them accordingly to the current construction detail. Sidewalk along 37th Street shall be 8 foot attached and along Trinidad Street 6’ attached per Section 18.32.030 of the Evans Municipal Code.
- S4 – According to the home site typical labeled number 1 on the conceptual landscaping plan the distance from homes placed side-by-side will be 15’ when the minimum required is 20’. Please clarify this layout and make sure the minimum setback is met. Please include this on the typical section on sheet C-1.01 of the plans.
- S5 – Is the applicant planning on having any on-street parking permitted? If so signs stating “No Parking – Fire Lane” or “Parking This Side Only” or similar as approved by the City will be required on each side of every roadway less than thirty-two (32) feet in width. Please show on plans if applicable.

Utility Plan

U1 - The applicant shall label the size and type of all existing water lines.

U2 - The applicant shall show the plan and profile of all utilities.

U3 - The applicant shall provide the location, size, and material type of all existing and proposed water and sewer service connections and tap sizes (including those for irrigation systems).

U4 - The applicant shall number manholes per city standards and label them accordingly.

U5 - The applicant shall reference all service lines to an appropriate installation detail and label material type.

U6 - The applicant shall provide a note stating to protect existing pipes, poles, etc. per 12.04.150

U7 - The applicant shall provide callouts for all meters and reference an installation detail accordingly.

U8 – Sanitary Sewer line shall be 8” unless applicant can provide documentation that 6” is acceptable with current number and use of structures.

U9 – Utility Lines – Private or Public – Will fire hydrants remain on a public line or will the applicant choose to connect these to an interior private line? If hydrants are connected to a private line, the entire system would need to be looped. Gate valve locations may need to be added or moved based on decision.

Landscaping / Irrigation Plan:

L1 – Refer to comments from Parks Superintendent Scott Sandridge.

L2 – Evaluate non-potable feasibility on west side of property heading north to the Evans ditch.

Drainage Report:

D1 – The applicant shall ensure water quality and their intent to meet 2 year return interval water quality standards.

D2 – The applicant shall provide a maintenance policy for the multiple proposed detention/retention basins on site to ensure water quality.

Geotechnical Report:

GR1 - The applicant shall provide an investigation report regarding area stability for the proposed development. This report shall include a list of economically recoverable minerals in the land within the subdivision boundary. The statement must also include any known hazards and other important environmental conditions are present on the property.

General:

G1 – Please note that all reports and construction plans completed by a Colorado Registered Professional Engineer must be signed and wet stamped prior to final acceptance.

G2 – The applicant shall list all benchmarks and bearings on the cover sheet.

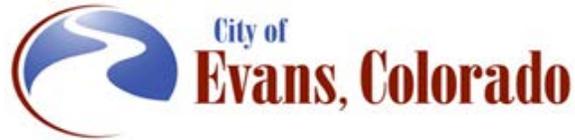
G3 - The applicant shall provide a separate general notes and construction notes page in the plan set that references all applicable standards and care for construction in the City of Evans.

G4 - The applicant shall include all applicable Details and reference them with respect to the plans.

G5 – The applicant shall update the Utility Conformance Letter to 6” minimum water line and stamp the document.

RECOMMENDATION:

The applicant shall address the comments listed above at the specific step of the review process stated. The review process will continue only when all appropriate elements have been submitted. Any issues of concern must be resolved with the City of Evans Community Development Department prior to recording any plat or start of construction.

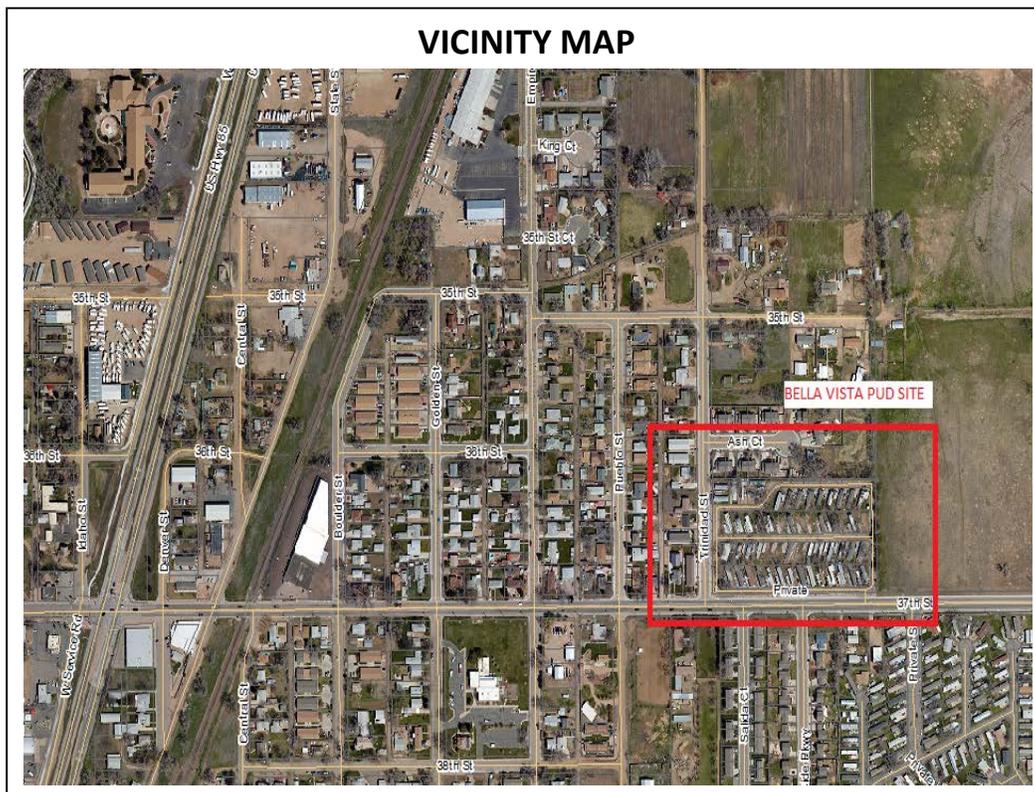


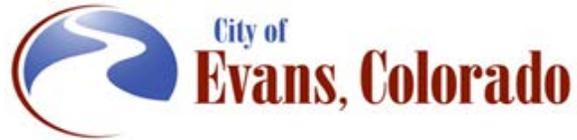
NOTICE OF PUBLIC HEARING

BELLA VISTA PLANNED UNIT DEVELOPMENT Rezoning & Subdivision Plat Approval

NOTICE is hereby given, pursuant to the Evans Municipal Code, that the **Evans Planning Commission** will hold a **Public Hearing** on **Tuesday, March 22nd, 2016** commencing at **6:00 pm**, and; and the **Evans City Council** will hold a **Public Hearing** on **Tuesday, April 5th, 2016**, commencing at **7:30 pm**. Meetings to be held at the City Hall Council Chambers, 1100 37th Street, Evans, Colorado. At which time and place they will consider and act upon the application for a proposed Rezoning Bella Vista Modular Home Park to a Planned Unit Development along with a combined Preliminary and Final Plat for the Bella Vista PUD Subdivision.

All persons in any manner interested in this matter may be present and heard regarding this proposed use. Additional information may be obtained from the Evans Customer Service Department, 1100 37th Street, Evans, Colorado, between the hours of 8:00 am and 5:00 pm, Monday through Friday, or by phone at (970) 475-1170.





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BELLA VISTA PLANNED UNIT DEVELOPMENT

Rezoning & Subdivision Plat Approval

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LEGAL DESCRIPTION

LOTS 43, 44, 45, 46 AND 47, IN THE SE 1/4 OF SECTION 20, TOWNSHIP 5 NORTH, RANGE 65 WEST OF THE 6TH P.M., AS SUBDIVIDED BY THE ST. LOUIS WESTERN COLONY, COUNTY OF WELD, STATE OF COLORADO, TOGETHER WITH ALL THAT PART OF VACATED TARRYAL STREET ADJACENT TO LOTS 43 AND 44, AS VACATED BY ORDINANCE NO. 132 RECORDED FEBRUARY 15, 1961 IN BOOK 1577 AT PAGE 512 AND RE-RECORDED FEBRUARY 23, 1961 IN BOOK 1578 AT PAGE 269, AND OUTLOT A, HEATERWAY SUBDIVISION, CITY OF EVANS, COUNTY OF WELD, STATE OF COLORADO, AND THE EAST 10 FEET OF TRINIDAD STREET ADJOINING LOTS 45, 46 AND 47, AND OUTLOT A, AS VACATED BY ORDINANCE NO. 1160-99 ON FEBRUARY 23, 2000 (AS SET FORTH ON DEED RECORDED SEPTEMBER 26, 2002 AT RECEPTION NO. 2990813).

PROJECT NARRATIVE

THE SITE IS CURRENTLY ZONED RESIDENTIAL - MANUFACTURED HOME (RMH) AND WAS FORMERLY OCCUPIED BY MANUFACTURED RESIDENTIAL HOMES. DURING THE FLOOD OF SEPTEMBER 2013 ALL EXISTING HOMES WERE DESTROYED AND DEEMED UNINHABITABLE. THE PREVIOUS HOMES WERE DEMOLISHED AND REMOVED FROM THE SITE. PRESENTLY THE SITE IS VACANT AND UNUSED.

THIS APPLICATION IS TO REZONE THE SITE TO PUD UNDER THE CITY OF EVANS MUNICIPAL CODE. THIS USE FOR THE PUD WILL BE A NEW MANUFACTURED HOME COMMUNITY. THE NEW DEVELOPMENT (DEPICTED WITHIN THE ENCLOSED SUBMITTAL MATERIALS) WOULD BE COMPOSED OF 52 MANUFACTURED HOMES AS WELL AS WATER DETENTION AND OPEN SPACE. THE REDEVELOPMENT OF BELLA VISTA WOULD BRING THE DEVELOPMENT UP TO CURRENT CITY OF EVANS STANDARDS. ACCESS IS PROPOSED TO BE OFF OF BOTH TRINIDAD STREET AND 37TH STREET THROUGH THE PREVIOUSLY UTILIZED ACCESS POINTS.

CITY OF EVANS LANDSCAPING NOTES

- 1. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES THAT WILL REMAIN AS OUTLOTS, OPEN SPACE, DETENTION PONDS, FOREBAYS, OR TRAILS SHALL RECEIVE 4 INCHES OF TOP SOIL AND SHALL BE SEEDED. SOIL PREPARATION, FERTILIZER, COMPOST, SEEDING, AND MULCHING WILL BE REQUIRED.
2. ALL PLANTINGS REQUIRED SHALL UTILIZE THE CITY OF EVANS PARKS AND RECREATION APPROVED LANDSCAPING PLANTING LIST.
3. ALL SEEDING SHALL UTILIZE THE CITY OF EVANS IRRIGATION DESIGN GUIDELINES AND LAWN AND GRASS SPECIFICATIONS SECTION 02930.
4. GRASS SEED SHALL BE PLANTED WITH A GRASS SEED DRILL (NOT A GRAIN DRILL) AT A DEPTH OF 1/2" TO 3/4". BROADCAST SEEDING OF GRASS SEED IS NOT ACCEPTABLE. STRAW MULCH SHALL BE SPREAD AND CRIMPED INTO THE SOIL AT A RATE OF 4,000 LBS/ACRE. HYDROSEEDING AND HYDROMULCHING IS ACCEPTABLE IN LIEU OF DRILL SEEDING AND CRIMPING OF MULCH STRAW. ONLY IN AREAS THAT ARE INACCESSIBLE TO LANDSCAPING EQUIPMENT, AND MUST BE APPROVED BY THE CITY OF EVANS PRIOR TO USE.
5. ALL PLANTINGS REQUIRED BY THE PLANNING DIVISION APPROVED LANDSCAPING PLAN SHALL UTILIZE THE CITY OF EVANS PARKS AND RECREATION APPROVED LANDSCAPING PLANTING LIST.
6. ALL SEEDING REQUIRED BY EITHER THE CITY OF EVANS ENGINEERING DIVISION, OR PLANNING DIVISION SHALL UTILIZE THE CITY OF EVANS PARKS AND RECREATION IRRIGATION DESIGN GUIDELINES.
7. SOIL IN AREAS INTENDED FOR PLANTINGS SHALL FIRST BE AMENDED ACCORDING TO CITY OF EVANS STANDARDS IN ORDER TO LOOSEN COMPACTED SOIL, IMPROVE THE VIABILITY OF PLANTINGS AND REDUCE THE AMOUNT OF WATERING REQUIRED. ROCK MULCH OR GRAVEL SHALL NOT BE PLACED WITHIN TWO (2) FEET OF REQUIRED TREES.

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE CITY OF EVANS, COUNTY OF WELD AND STATE OF COLORADO DESCRIBED HEREIN.

TRINIDAD LLC DBA: BELLA VISTA MHP

SIGNED THIS ___ DAY OF ___ 20__

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS ___ DAY OF ___

20__ BY ___ AS OF TRINIDAD LLC DBA: BELLA VISTA MHP

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: ___

STATEMENT FOR CIVIL ENGINEER

I, ___ BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL CITY OF EVANS PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER

DATE

CITY OF EVANS GENERAL CONSTRUCTION NOTES

- 1. ALL CONTRACTORS AND SUBCONTRACTORS SHALL HAVE A SET OF APPROVED CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
2. THE GENERAL CONTRACTOR SHALL CALL THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-(800)-922-1987, OR THE NATIONWIDE UTILITY CONTACT NUMBER (811), TO REQUEST LOCATES OF ALL UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITY.
3. ALL VERTICAL AND HORIZONTAL DATUM INFORMATION SHOULD BE OBTAINED USING THE EVANS GEODETIC SURVEY CONDUCTED BY ALBERS, DREXEL & POHLY, INC. JANUARY 9, 1998. A COPY OF FINAL COORDINATES, ELEVATIONS, AND MONUMENT DESCRIPTIONS CAN BE OBTAINED BY CONTACTING THE CITY OF EVANS ENGINEERING DIVISION AT (970) 475 1113.
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATIONS AND PROTECTION OF ALL EXISTING UTILITIES SHOWN, ALL EXISTING UTILITIES NOT SHOWN, AND ALL PROPOSED UTILITIES ON THESE PLANS.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ADJACENT IMPROVEMENTS FROM DAMAGE AND EROSION. ANY ADJACENT IMPROVEMENT DAMAGED DURING CONSTRUCTION SHALL, AT A MINIMUM, BE RESTORED TO A STATE EQUAL TO ITS PRECONSTRUCTION STATE.
6. THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO COMPLETE WORK, AND SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
7. IDENTIFYING THE NEED FOR A PERMIT, PREPARING THE APPLICATION, AND PAYING THE SUBMITTAL AND REVIEW FEES NECESSARY TO SECURE PERMITS WILL BE THE TOTAL RESPONSIBILITY OF THE GENERAL CONTRACTOR. A COPY OF ALL PERMITS MUST BE ON SITE AT ALL TIMES.
8. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR STORM WATER DISCHARGE, ASSOCIATED WITH CONSTRUCTION ACTIVITY. FOR INFORMATION, CONTACT THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY CONTROL DIVISION, SQCD-PE-B2, 4300 CHERRY CREEK DRIVE SOUTH, DENVER, COLORADO 80246-1530, ATTENTION PERMITS AND ENFORCEMENT SECTION. (303) 692-3500. THE WATER QUALITY PERMITTING PAGE CAN BE ACCESSED AT WWW.CDPHE.STATE.CO.US/WQ/PERMITS/UNIT/WQCDPMT.HTML.
9. IF DEWATERING IS TO BE USED, THEN A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED IF DISCHARGE IS INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH, OR ANY WATERS OF THE UNITED STATES.
10. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL SOILS REPORT AND PAVEMENT DESIGN REPORT, PRODUCED, OR REFERENCED FOR THIS PROJECT.
11. THE GENERAL CONTRACTOR SHALL PERFORM THE WORK ACCORDING TO ALL CITY, COUNTY, STATE, AND FEDERAL SAFETY AND HEALTH REGULATIONS. IN PARTICULAR, THE "TRENCHING" AND "OPEN EXCAVATION" OPERATIONS SHALL COMPLY WITH ALL CURRENT O.S.H.A. REGULATORY REQUIREMENTS.
12. ALL WATER LINE, SANITARY SEWER, AND STORM WATER CONSTRUCTION SHALL CONFORM TO THE CITY OF EVANS STANDARDS AND SPECIFICATIONS LATEST REVISION THEREOF. A CURRENT COPY CAN BE DOWNLOADED FROM THE CITY OF EVANS WEBSITE AT WWW.CITYOFEVANS.ORG.
13. THE CITY OF EVANS FOLLOWS ALL TRAFFIC CONTROL STANDARDS SET FORTH IN THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
14. A TRAFFIC CONTROL PLAN MUST BE SUBMITTED AND APPROVED FOR ANY AND ALL UTILITY WORK PERFORMED WITHIN THE CITY OF EVANS RIGHT-OF-WAY. TRAFFIC CONTROL PLANS CAN BE FAXED TO THE ENGINEERING DIVISION AT (970) 330-3472.
15. ALL STREET LIGHTING SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE CITY OF EVANS RESIDENTIAL NEIGHBORHOOD DESIGN STANDARDS.
16. ALL PLANTINGS SHALL UTILIZE THE CITY OF EVANS PARKS AND RECREATION APPROVED LANDSCAPING PLANTING LIST.
17. ALL SEEDING SHALL UTILIZE THE CITY OF EVANS IRRIGATION DESIGN GUIDELINES AND THE LAWN AND GRASS SPECIFICATIONS SECTION 02930.
18. ALL WORK INCLUDING WARRANTY WORK, SHALL BE INSPECTED BY A CITY REPRESENTATIVE WHO SHALL HAVE AUTHORITY TO HALT CONSTRUCTION WHEN PROPER CONSTRUCTION PRACTICES ARE NOT BEING ADHERED TO.
19. THERE SHALL BE NO WORK PERFORMED ON THE WEEKENDS, OR HOLIDAYS EXCEPT BY APPROVAL OF THE CITY OF EVANS WITH A MINIMUM OF 24 HOURS NOTICE.
20. THE GENERAL CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING PRIOR TO ANY DISRUPTION IN SERVICE. THE NOTICES MUST HAVE THE GENERAL CONTRACTORS PHONE NUMBER AND THE NAME OF A CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOUR CALLS. NOTICES SHALL NOT BE LEFT IN MAILBOXES UNLESS PROPERLY SENT THROUGH THE U.S. POST OFFICE.
21. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THEIR OWN DISPOSAL SITE FOR ALL DISPOSED MATERIALS.
22. THE ENGINEER WHO HAS PREPARED THESE PLANS, BY EXECUTION AND/OR SEAL HEREOF DOES HEREBY AFFIRM RESPONSIBILITY TO THE CITY OF EVANS, AS A BENEFICIARY OF SAID ENGINEER'S WORK. FOR ANY ERRORS OR OMISSIONS CONTAINED IN THESE PLANS ACCEPTANCE OF THESE PLANS BY THE CITY OF EVANS SHALL NOT RELIEVE THE ENGINEER WHO HAS PREPARED THESE PLANS OF SUCH RESPONSIBILITY.

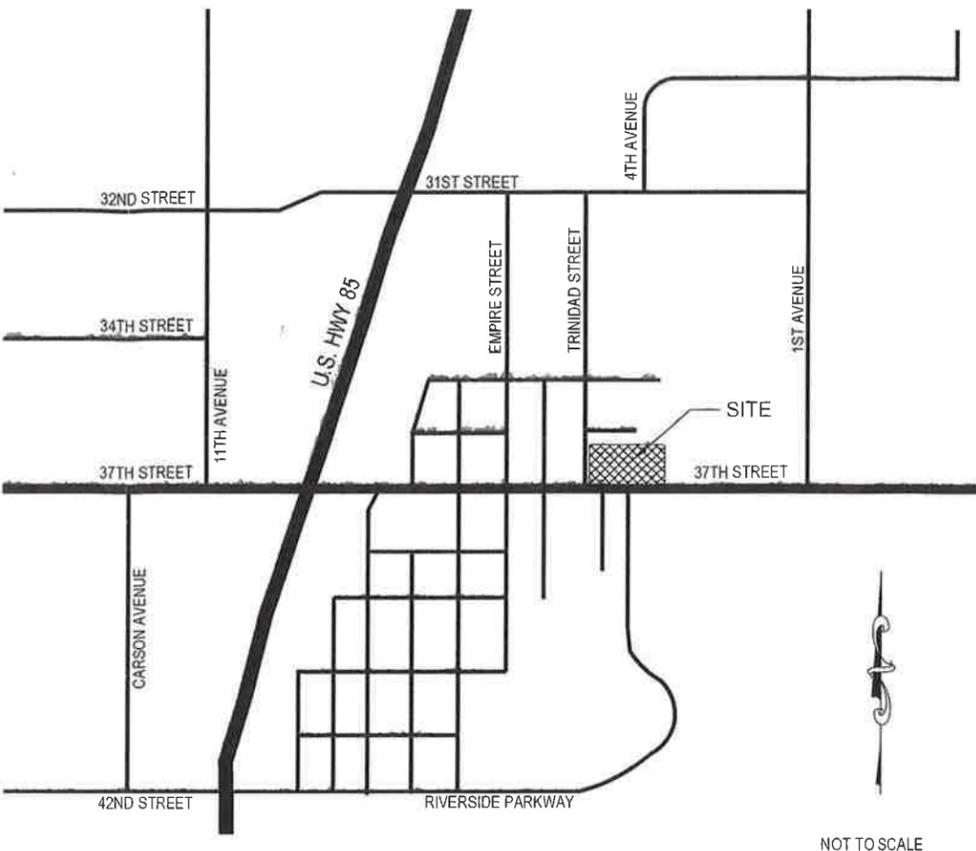
SURVEYOR'S CERTIFICATE

I, ___ A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR

DATE

VICINITY MAP



NOT TO SCALE

TRACT USE CHART

Table with 5 columns: TRACT, AREA (SF), AREA (AC), USE, OWNER / MAINTENANCE. Rows include TRACT A through TRACT J and a TOTAL row.

TYPICAL LOT SIZE

Table with 2 columns: LOT TYPE, AREA (SF). Row: STANDARD MANUFACTURED HOME, 3,098'

CITY OF EVANS APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE CITY OF EVANS, COLORADO ON THE ___ DAY OF ___ 20__

CITY OF EVANS

SHEET INDEX

- C-0.00 COVER SHEET
C-1.00 PUD SURVEY PLAT
C-1.01 SITE PLAN
C-1.02 UTILITY AND GRADING PLAN
C-1.03 EXISTING CONDITIONS & SURVEY MAP
L-1.00 CONCEPTUAL LANDSCAPE PLAN
L-1.01 LANDSCAPE DETAILS
S-1.00 COMPREHENSIVE SIGN PLAN
I-1.00 IRRIGATION NOTES
I-1.01 CONCEPTUAL IRRIGATION PLAN
I-2.00 IRRIGATION DETAILS
I-2.01 IRRIGATION DETAILS

PROJECT TEAM

Applicant: 3610 Trinidad LLC
DBA: Bella Vista MHP
PO Box 202319
Denver, CO 80220
720-201-5665
Jim Feehan
jim.feehan@cfoadvisorygroup.net

Landscape Architect / Planner: Norris Design
c/o Leanne Vielehr
1101 Bannock St.
Denver, CO 80204
303.892.1166

Civil Engineer: Calibre Engineering
c/o Todd Johnson
9090 South Ridgeline Blvd, #105
Highlands Ranch, CO 80129
303.730.0434

Surveyor



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

BELLA VISTA
PLANNED UNIT DEVELOPMENT
EVANS, COLORADO

OWNER:

3610 Trinidad LLC
DBA: Bella Vista MHP
PO Box 202319
Denver, CO 80220
720-201-5665
Jim Feehan

NOT OR CONSTRUCTION



Know what's below. Call before you dig.

DATE:
PUD - 8/20/2015
PUD - 11/11/2015

Handwritten notes: Need Utility Contact Info, Xcel Energy - Pat Kreeger 970-225-7840, Atmos Energy - Curtis Rom - 970-304-2089, Comcast - Bill Blair - 720-490-3891, Centurylink - Carson Ortega 970-350-2941

OK for site plans or plat

For construction plans!

All work shall be constructed to the city of evans standards, specifications
Approved By: Director of Public Works
Date:

SHEET TITLE: COVER SHEET

OWNER: SCHANTZ, JACOB L
 OWNER: HAM, LOIS M
 OWNER: CORRELL, JARED A
 OWNER: SHIRONAKA, GARY
 OWNER: SLIVKANCH, PETER P
 OWNER: HITZ INVESTMENTS, LL
 OWNER: GANSKOW, DANIEL F

OWNER: BIRTS, JAMES R.



1101 Bannock Street
 Denver, Colorado 80204
 P 303.892.1166
 F 303.892.1186



LEGEND

- ROW/PROPERTY LINE ————
- CENTERLINE - - - - -
- PROPERTY BOUNDARY ————
- SETBACK - - - - -
- EASEMENT - - - - -

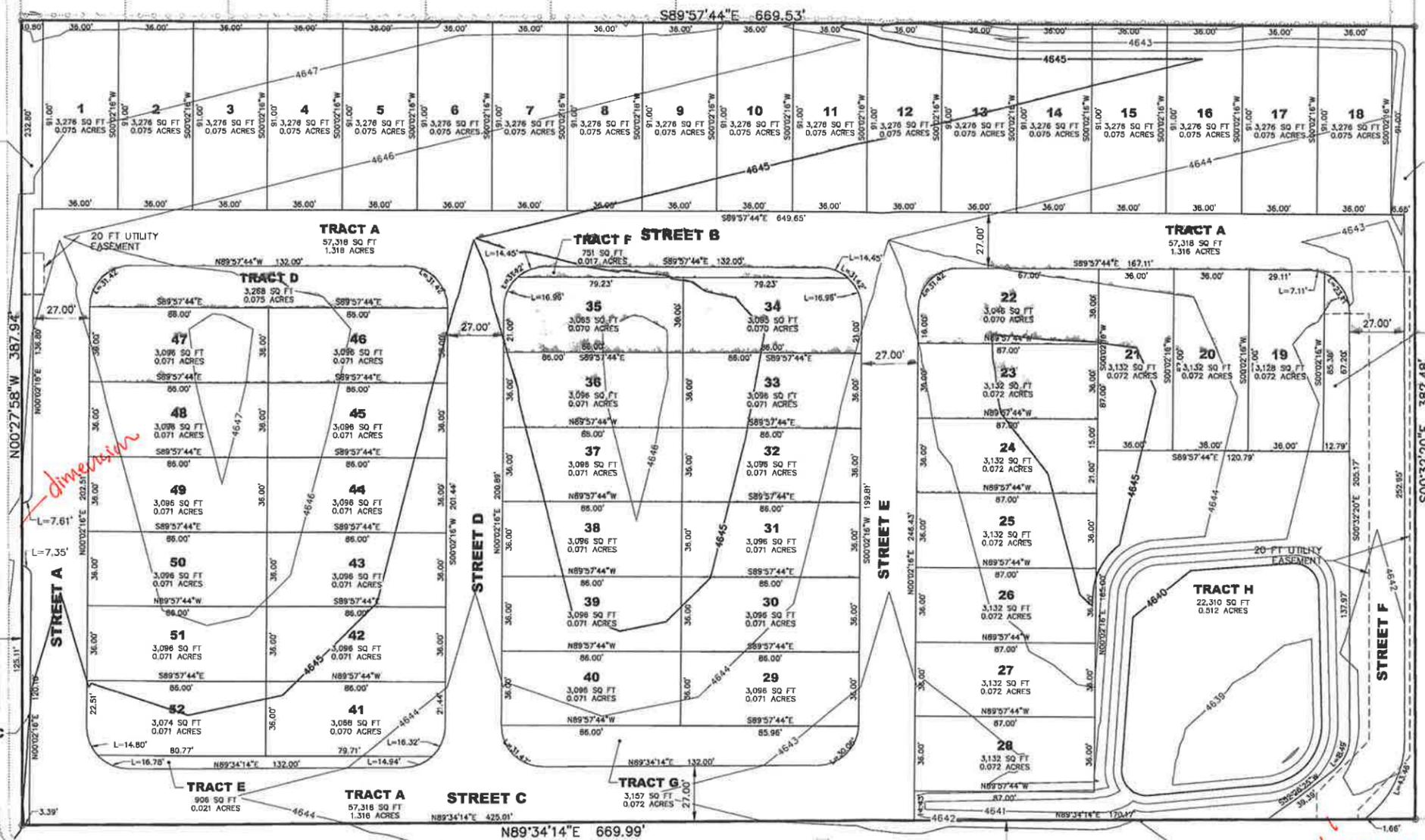
BELLA VISTA
 PRE-APP SITE PLAN
 EVANS, COLORADO

OWNER:
 3610 Trinidad LLC
 DBA: Bella Vista MHP
 PO Box 202319
 Denver, CO 80220
 720-201-5685
 Jim Feehan

Is this a survey plat w a drainage plan? Can leave off proposed contours and put existing.

Create separate grading sheet

OWNER:
 BIRTS, JAMES R.



TRINIDAD STREET

dimension

dimension existing

37TH STREET

*Add certs from page C.000
 ownership
 civil eng statement
 surveyors cert*

NOTES:

- 1) TRACT A IS FOR UTILITY AND PUBLIC ACCESS PURPOSES.
- 2) TRACTS B, C, E, F AND I ARE FOR LANDSCAPING PURPOSES.
- 3) TRACTS D AND G ARE FOR PUBLIC ACCESS AND LANDSCAPING PURPOSES.
- 4) TRACT J IS FOR UTILITIES, PUBLIC ACCESS AND MAIL KIOSK PURPOSES.
- 5) TRACT H IS FOR DRAINAGE, PUBLIC ACCESS AND LANDSCAPING PURPOSES.

BENCHMARK:

CITY OF EVANS CONTROL NETWORK, ALUMINUM DISK IN TOP OF OUTLET STRUCTURE IN DETENTION POND, SOUTH OF SITE. ELEVATION = 4644.51 (NAVD88 DATUM)

BASIS OF BEARINGS:

COORDINATES AND BEARINGS ARE BASED ON THE CITY OF EVANS CONTROL NETWORK. THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 20, BEARING AT N 89°34'14" E, IS THE BASIS OF BEARINGS FOR THIS DOCUMENT.

*Need Project Control Notes
 see city website
 under engineering*

LEGAL DESCRIPTION:

LOTS 43, 44, 45, 46 AND 47 IN THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 5 NORTH, RANGE 65 WEST OF THE 6TH P.M., AS SUBDIVIDED BY THE ST. LOUIS WESTERN COLONY, COUNTY OF WELD, STATE OF COLORADO,

TOGETHER WITH ALL THAT PART OF VACATED TERRYALL STREET ADJACENT TO LOTS 43 AND 47, AS VACATED BY ORDINANCE NO. 132, RECORDED FEBRUARY 15, 1961 IN BOOK 1577 AT PAGE 512 AND RE-RECORDED FEBRUARY 23, 1961 IN BOOK 1578 AT PAGE 269,

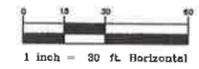
AND OUTLOT A, HEATHERWAY SUBDIVISION, CITY OF EVANS, COUNTY OF WELD, STATE OF COLORADO. AND THE EAST 10 FEET OF TRINIDAD STREET ADJOINING LOTS 45, 46 AND 47 AND OUTLOT A AS VACATED BY ORDINANCE 1160-99 ON FEBRUARY 23, 2000 (AS SET FORTH ON DEED RECORDED SEPTEMBER 26, 2002 AT RECEPTION NO. 2990813).

DATE:
 8/20/15 SUBMITTAL
 11/11/15 SUBMITTAL

SHEET TITLE:
 PUD SURVEY
 PLAT

OWNER: SCHANTZ, JACOB L
 OWNER: HAM, LOIS M
 OWNER: CORRELL, JARED A
 OWNER: SHIRONAKA, GARY
 OWNER: SLIVKANICH, PETER P
 OWNER: HITZ INVESTMENTS, LL
 OWNER: GANSKOW, DANIEL F

OWNER: BIRTS, JAMES R.



LEGEND

- ROW/PROPERTY LINE
- CENTERLINE
- PROPERTY BOUNDARY
- SETBACK
- EASEMENT
- PROP. 4" PRIVATE WATER MAIN (UNLESS NOTED OTHERWISE)
- PROP. WATER VALVE
- PROP. FIRE HYDRANT
- PROP. 8" (PRIVATE) SANITARY SEWER MAIN
- PROP. STORM DRAIN
- PROP. STORM DRAIN INLET
- SANITARY SEWER MANHOLE NUMBER (16)
- STORM DRAINAGE MANHOLE NUMBER (MH-5)
- EX. GAS MAIN
- EX. WATER MAIN
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. SANITARY SEWERS
- EX. STORM DRAIN
- EX. STORM DRAIN INLET
- EX. POWER POLE
- EX. UNDERGROUND ELECTRIC
- EX. UNDERGROUND TELEPHONE
- EX. FENCE

BELLA VISTA
 PRE-APP SITE PLAN
 EVANS, COLORADO

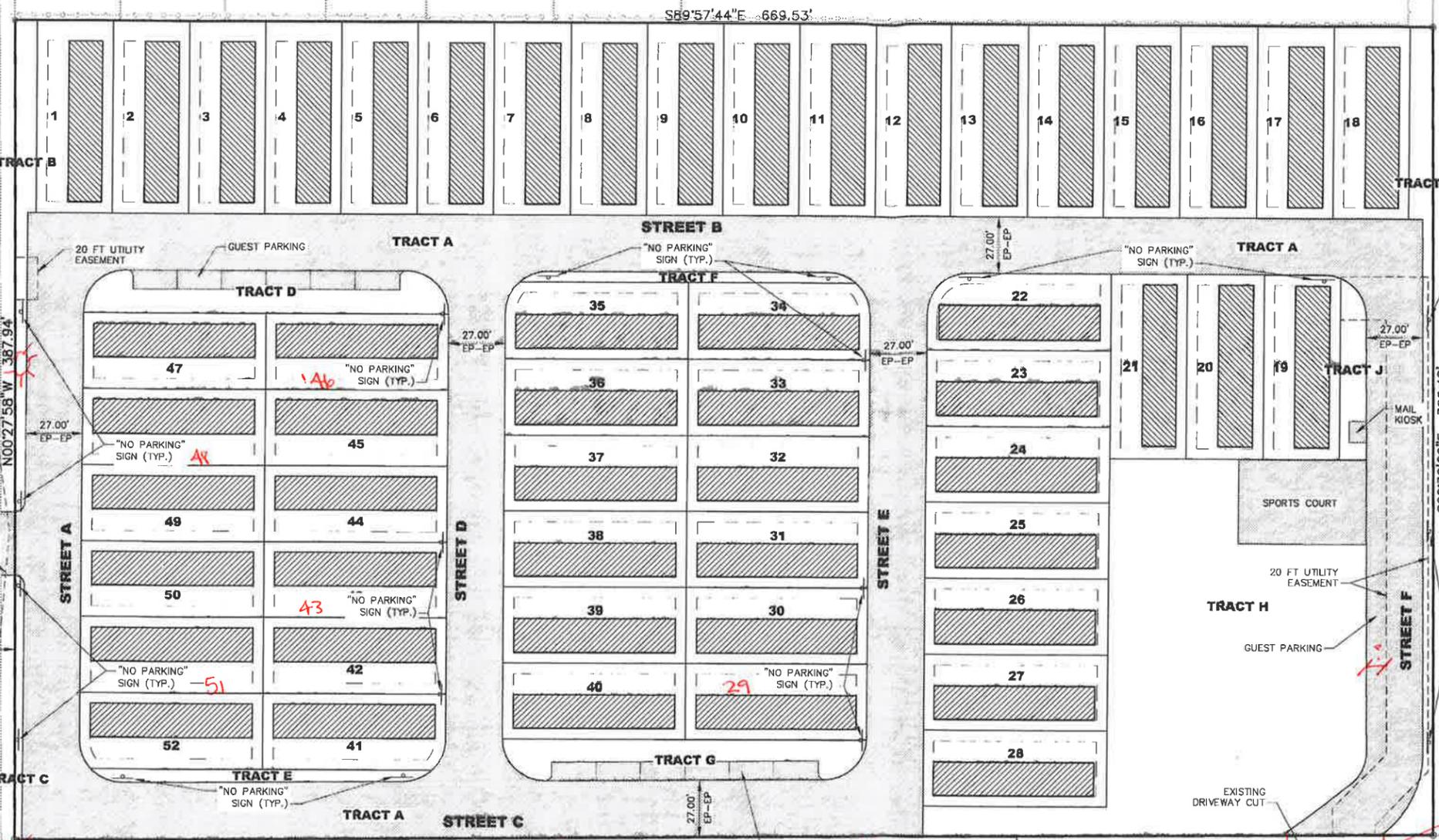
OWNER:
 3810 Trinidad LLC
 DBA: Bella Vista MHP
 PO Box 202319
 Denver, CO 80220
 720-201-5665
 Jim Feehan

OWNER:
 BIRTS,
 JAMES R.

Needs to be b' attached walk

27.6"

Need detail/radius using existing driveway? - make perpendicular



SIGHT TRIANGLE

EXISTING DRIVEWAY CUT

60.00' R.O.W.

EXISTING ATTACHED WALK

EXISTING CURB RAMP

EXISTING ATTACHED WALK

GUEST PARKING

show lights

SIGHT TRIANGLE

EXISTING ATTACHED WALK

update ADA ramp to current standards

needs to be an 8' attached walk



TYPICAL LOT DETAIL

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Engineer
Calibre
 Civil Engineering Inc.
 5075 North Regal Boulevard, Suite 100
 Highlands Ranch, CO 80120
 www.calibre-engineering.com

DATE:
 8/20/15 SUBMITTAL
 11/11/15 SUBMITTAL

SHEET TITLE:
 SITE PLAN

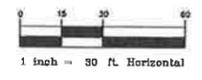
BELLA VISTA
PRE-APP SITE PLAN
EVANS, COLORADO

OWNER:
3610 Trinidad LLC
DBA: Bella Vista MHP
PO Box 202319
Denver, CO 80220
720-201-5685
Jim Feehan

Engineer
Calibre
Civil Engineering, Inc.
303 South Regis at Berline Box 10
Grand Junction CO 81505
www.calibre-engineering.com

DATE:
8/20/15 SUBMITTAL
11/11/15 SUBMITTAL

SHEET TITLE:
UTILITY AND
GRADING PLAN



LEGEND

- ROW/PROPERTY LINE ————
- CENTERLINE ————
- PROPERTY BOUNDARY ————
- SETBACK ————
- EASEMENT ————
- PROP. 6" PRIVATE WATER MAIN (UNLESS NOTED OTHERWISE) ————
- PROP. WATER VALVE ————
- PROP. FIRE HYDRANT ————
- PROP. 8" (PRIVATE) SANITARY SEWER MAIN ————
- PROP. STORM DRAIN ————
- PROP. STORM DRAIN INLET ————
- SANITARY SEWER MANHOLE NUMBER (16)
- STORM DRAINAGE MANHOLE NUMBER (MH-5)
- EX. GAS MAIN ————
- EX. WATER MAIN ————
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- EX. SANITARY SEWERS ————
- EX. STORM DRAIN ————
- EX. STORM DRAIN INLET ————
- EX. POWER POLE ————
- EX. UNDERGROUND ELECTRIC ————
- EX. UNDERGROUND TELEPHONE ————
- EX. FENCE ————

*Where will xcel, centurylink
Comcast, Atmos, Lines be?
Should all be underground*

OWNER: SCHANTZ, JACOB L
OWNER: HAM, LOIS M
OWNER: CORRELL, JARED A
OWNER: SHIRONAKA, GARY
OWNER: SLIVKANICH, PETER P
OWNER: HITZ INVESTMENTS, LL
OWNER: GANSKOW, DANIEL F

OWNER:
BIRTS,
JAMES R.

*MOVE sewer manhole
west of 1st service hookup
confirm profile of existing*

*Underground
existing overhead
utilities along
Trinidad! interior*

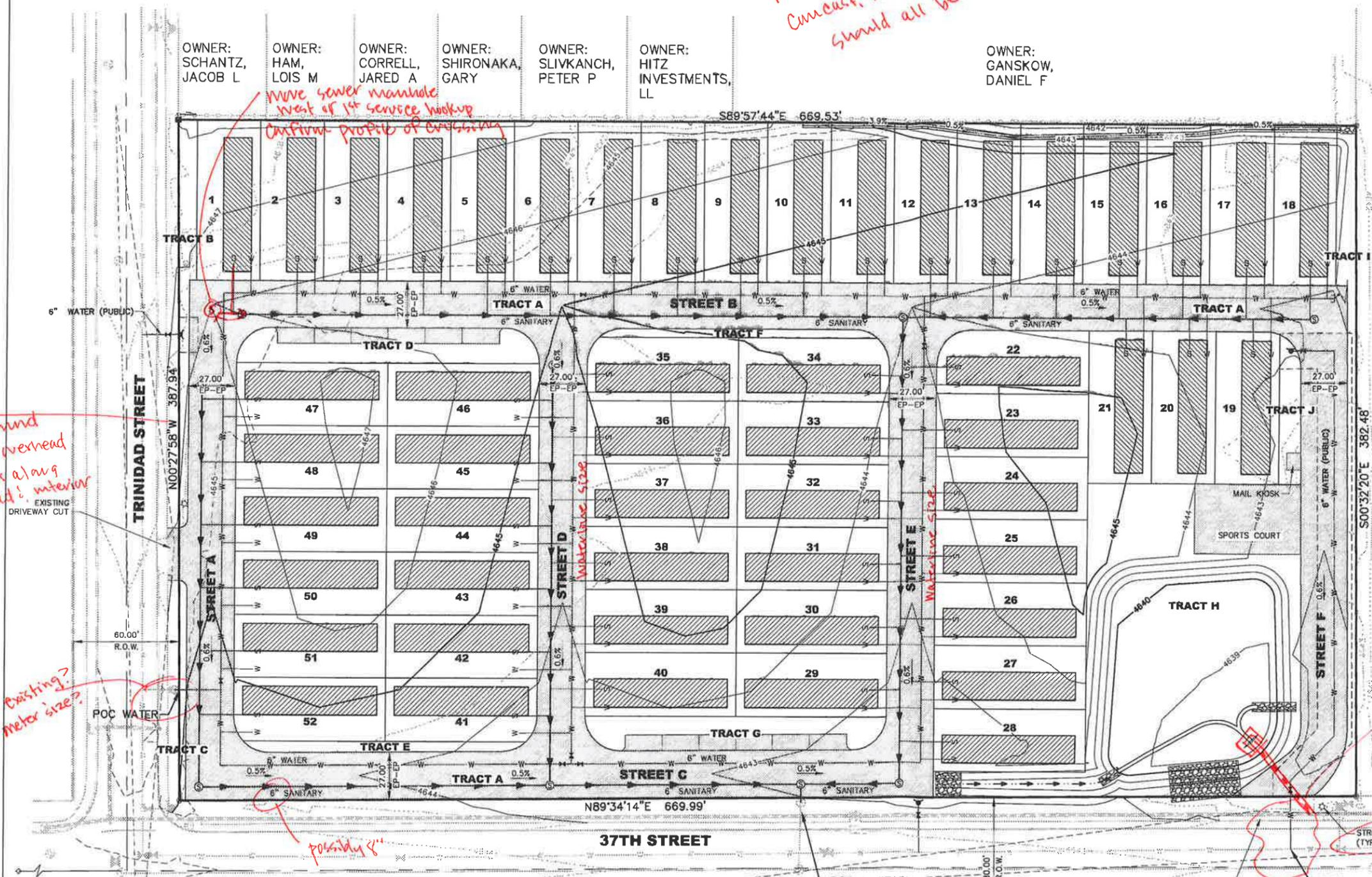
*Existing?
Meter size?*

*Need storm outlet
into existing storm*
OWNER:
BIRTS,
JAMES R.

*Need to be 400' spacing
along roadway
begin at 37th/Trinidad*

*Need:
sanitary, water, storm profile sheets, details
storm drainage outfall profile, details
stormwater erosion control plan (vts, concrete washout, bump's)
general construction notes (see website under engineering)*

*Many more utilities
to cross than just storm.
show profiles/details per
specifications*



CHECKED BY:
DRAWN BY:

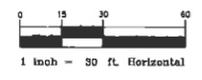
BELLA VISTA
PRE-APP SITE PLAN
EVANS, COLORADO

OWNER:
3810 Trinidad LLC
DBA: Bella Vista MHP
PO Box 202319
Denver, CO 80220
720-201-6665
Jim Feehan

Engineer
Calibre
Civil Engineering Inc.
1550 Sixth Avenue, Suite 100
Denver, CO 80202
303.733.0424
www.calibre-engineering.com

DATE:
8/20/15 SUBMITTAL
11/11/15 SUBMITTAL

SHEET TITLE:
EXIST CONDITIONS
& SURVEY MAP

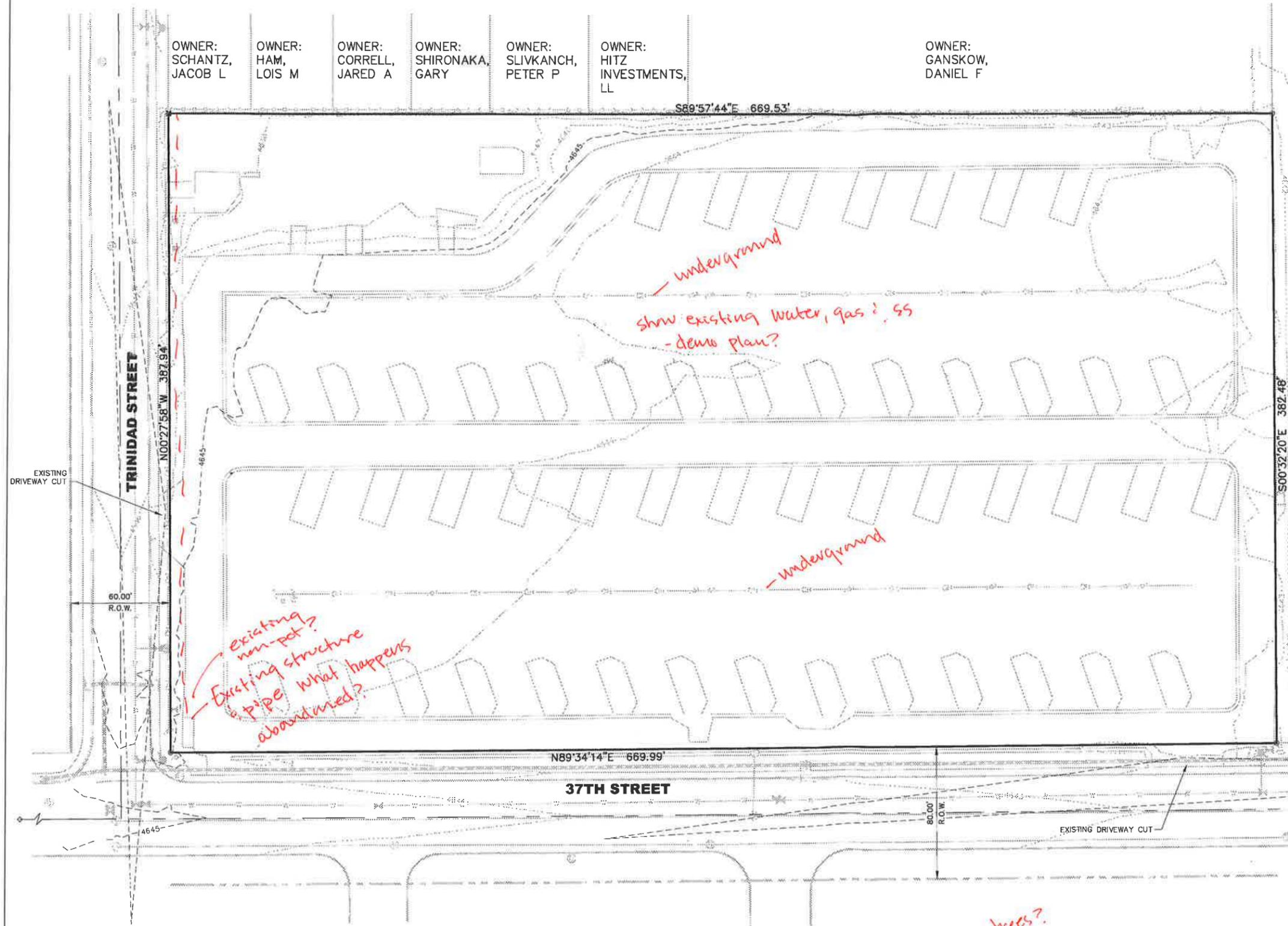


LEGEND

- ROW/PROPERTY LINE
- CENTERLINE
- PROPERTY BOUNDARY
- SETBACK
- EASEMENT
- PROP. 4" PRIVATE WATER MAIN (UNLESS NOTED OTHERWISE)
- PROP. WATER VALVE
- PROP. FIRE HYDRANT
- PROP. 8" (PRIVATE) SANITARY SEWER MAIN
- PROP. STORM DRAIN
- PROP. STORM DRAIN INLET
- SANITARY SEWER MANHOLE NUMBER
- STORM DRAINAGE MANHOLE NUMBER
- EX. GAS MAIN
- EX. WATER MAIN
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. SANITARY SEWERS
- EX. STORM DRAIN
- EX. STORM DRAIN INLET
- EX. POWER POLE
- EX. UNDERGROUND ELECTRIC
- EX. UNDERGROUND TELEPHONE
- EX. FENCE

OWNER:
BIRTS,
JAMES R.

OWNER: SCHANTZ, JACOB L
OWNER: HAM, LOIS M
OWNER: CORRELL, JARED A
OWNER: SHIRONAKA, GARY
OWNER: SLIVKANICH, PETER P
OWNER: HITZ INVESTMENTS, LL
OWNER: GANSKOW, DANIEL F



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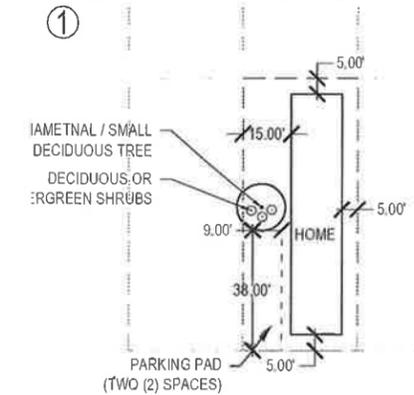
HOME SPACING TABLE

SPACING	STANDARD (MIN.)
HOMES PLACED END-TO-END	10'
HOMES PLACED SIDE-BY-SIDE	20'
HOMES PLACED SIDE-TO-END	15'
PROPERTY LINE	10'

NOTES:

- HOME INCLUDING NONREMOVABLE TOW HITCHES SHALL BE SET BACK AT LEAST FIVE (5) FEET FROM PRIVATE STREETS AND ROADWAYS, AND TWENTY-FIVE (25) FEET FROM PUBLIC RIGHTS-OF-WAY.
- ALL HOMES MUST BE SETBACK MINIMUM FIVE (5) FEET FROM THE LOT LINE.

HOME SITE TYPICALS



NOTES:

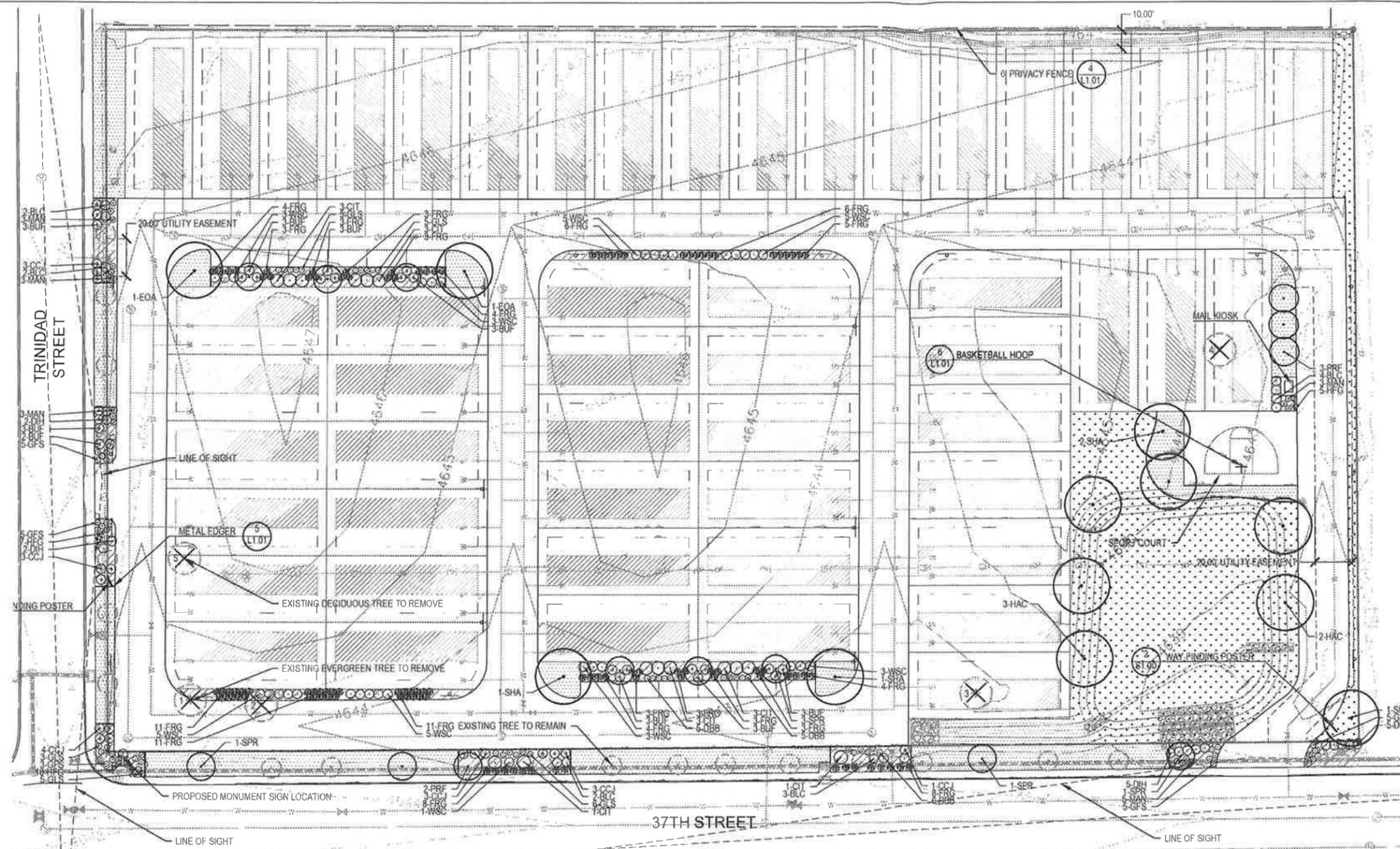
- TWO (2) OFF-STREET PARKING SPACES SHALL BE REQUIRED PER HOME, MIN. 9' X 18' PER SPACE.
- EACH HOME SITE TO HAVE ONE (1) ORNAMENTAL TREE AND THREE (3) SHRUBS.
- LOCATION OF REQUIRED PLANT MATERIAL ON EACH HOME SITE SUBJECT TO CHANGE.
- EACH HOME SITE RESPONSIBLE FOR ON LOT LANDSCAPE IRRIGATION.

TREE MITIGATION TABLE

EXISTING TREE	CALIPER INCHES	MITIGATION	TREES PROVIDED
1 EVERGREEN	10"	3	IN COMMON LANDSCAPE AREAS
2 ELM	20"	5	
3 EVERGREEN	15"	4	
4 JUNIPER	10"	3	
5 ELM	14.5"	4	
TOTAL	76"	19 TREES NEEDED	26

NOTES:

- ALL OTHER TREES ON SITE WERE DETERMINED NOT WORTH KEEPING BY THE CITY OF EVANS PARKS SUPERINTENDENT.
- EXISTING TREES ALONG EAST PROPERTY LINE TO REMAIN.



PLANTING SCHEDULE

SYM	PLANT NAME (SCIENTIFIC)	PLANT NAME (COMMON)	SIZE & CONDITION	NO. OF PLANTS	WATER USE
DECIDUOUS CANOPY TREES					
EOC	QUERCUS ROBUR 'FASTIGIATA'	ENGLISH COLUMNAR OAK	2 1/2" CAL. B&B	2	LOW
HAC	CELTIS OCCIDENTALIS	WESTERN HACKBERRY	2 1/2" CAL. B&B	5	LOW
SHA	GLEDITSIA TRIACANTHOS 'INERMIS' SHADEMASTER'	SHADEMASTER HONEYLOCUST	2 1/2" CAL. B&B	5	LOW
DECIDUOUS ORNAMENTAL TREES					
PRF	MALUS 'PRAIRIEFIRE'	PRAIRIEFIRE CRAB	2" CAL. B&B	5	LOW
SPR	MALUS 'SPRING SNOW'	SPRING SNOW CRAB	2" CAL. B&B	6	LOW
DECIDUOUS SHRUBS					
GLS	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	NO. 5 CONT.	24	LOW
WSC	PRUNUS BESSEYI	WESTERN SAND CHERRY	NO. 5 CONT.	33	LOW
CIT	PRUNUS X CISTENA	CISTENA PLUM	NO. 5 CONT.	14	LOW
BLC	ARONIA MELANOCARPA	BLACK CHOKEBERRY	NO. 5 CONT.	13	LOW
DH	CORNUS SERICIA 'BAIL HALO'	IVORY HALO DOGWOOD	NO. 5 CONT.	14	LOW
GFS	SPIREA JAPONICA 'GOLDFLAME'	GOLDFLAME SPIREA	NO. 5 CONT.	23	LOW
DBB	EUONYMUS ALATUS 'COMPACTA'	DWARF BURNING BUSH	NO. 5 CONT.	16	LOW
EVERGREEN SHRUBS					
MAN	ARCTOSTAPHYLOS 'PANCHITO'	PANCHITO MANZANITA	NO. 5 CONT.	17	LOW
CCJ	JUNIPERUS SABINA 'MONNA'	CALGARY CARPET JUNIPER	NO. 5 CONT.	17	LOW
BUF	JUNIPERUS HORIZONTALIS 'BUFFALO'	BUFFALO JUNIPER	NO. 5 CONT.	26	LOW
ORNAMENTAL GRASSES					
FRG	CALAMAGROSTIS X ACUTIFOLIUS 'KARL FOERSTER'	FEATHER REED GRASS	NO. 1 CONT.	106	MODERATE
HFG	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF HARDY FOUNTAIN GRASS	NO. 1 CONT.	28	LOW

TURF GRASS BLEND: SOD

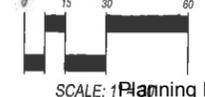
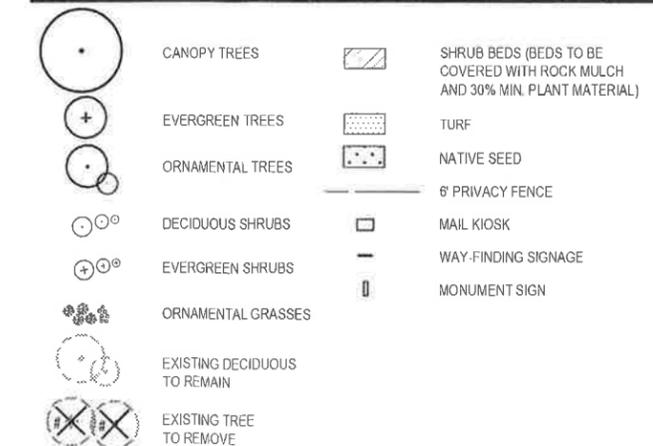
"FRONT RANGE DROUGHT RESISTANT BLEND" BY BITTERSWEET TURF FARMS, INC. OR APPR. EQUAL

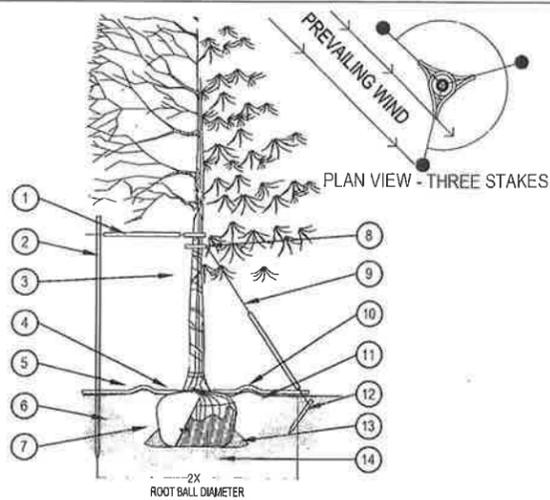
COMMON NAME	% OF TOTAL
CREeping RED FESCUE	35%
SR3200 BLUE FESCUE	25%
SR3100 HARD FESCUE	12.5%
REUBENS CANADIAN BLUE	15%
SR5100 CHEWINGS FESCUE	12.5%
TOTAL	100%

DRYLAND SEED MIX

COMMON NAME	SCIENTIFIC NAME	% OF TOTAL	PLS PER ACRE
WESTERN WHEATGRASS	AGROPYRON SMITHII	28%	6.2 LBS.
BIG BLUESTEM	ANDROPOGON GRARDII	28%	6.2 LBS.
SIDE OATS GRAMA	BOUTELOUA CURTIPENDULA	10%	2.2 LBS.
BLUE GRAMA	BOUTELOUA GRACILIS	6%	1.2 LBS.
SWITCHGRASS	PANICUM VIRGATUM	10%	2.2 LBS.
INDIANGRASS	SORGHASTRUM NUTANS	10%	2.2 LBS.
LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUS	8%	1.8 LBS.
TOTAL	100%	22.0 LBS.	

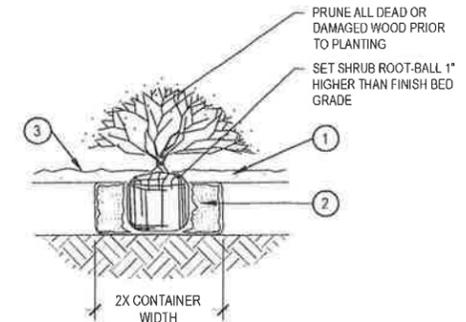
LEGEND





- PRUNING NOTES:**
- ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS
 - DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:**
- STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
 - 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)
 - 1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE)
 - 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
 - WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

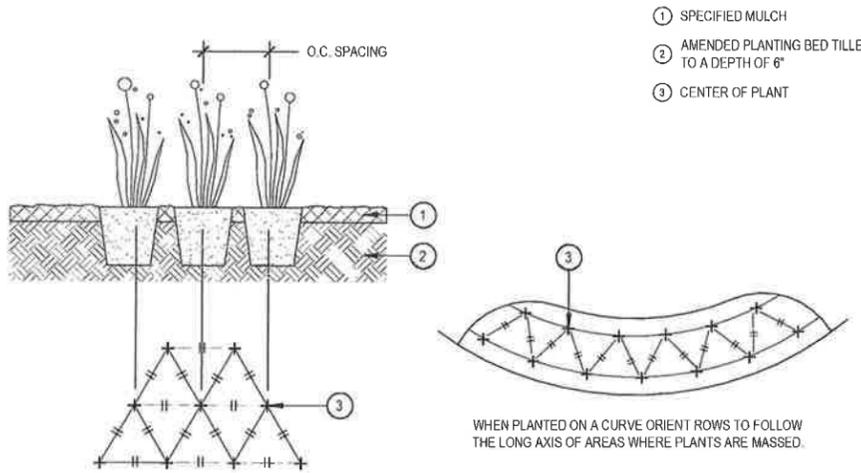
- PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
- 6 FT. UNTREATED WOOD POST (MIN. 1.5" DIAMETER). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.
- TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30, (DECIDUOUS ONLY)
- PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1" - 2" ABOVE FINAL GRADE.
- 3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
- 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
- GROMMETED NYLON STRAPS
- GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.
- 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
- BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING.
- 2 FT. STEEL T-POST, ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL.
- PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
- PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.



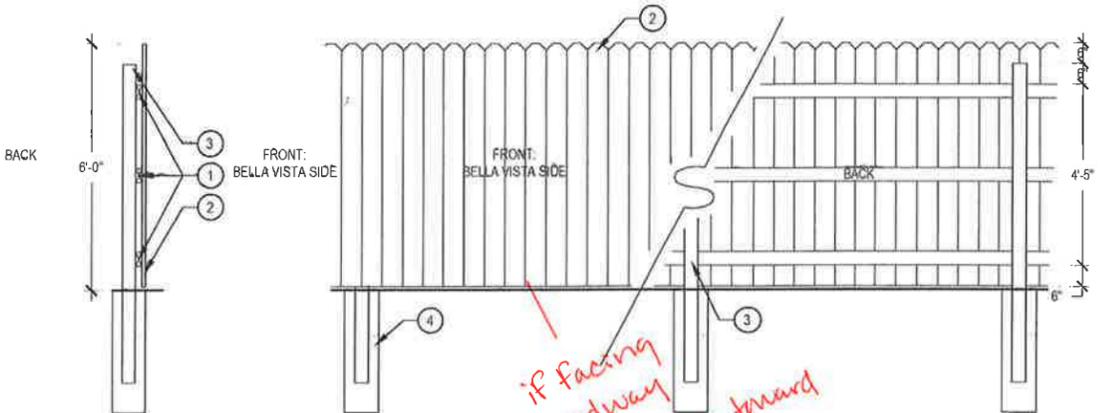
- SPECIFIED MULCH
 - AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS. TILL SOIL TO A DEPTH OF EIGHT INCHES
 - FINISH GRADE (TOP OF MULCH)
- NOTE:**
- BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED
 - CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER
 - ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER
 - DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER

1 TREE PLANTING DETAIL

2 SHRUB PLANTING



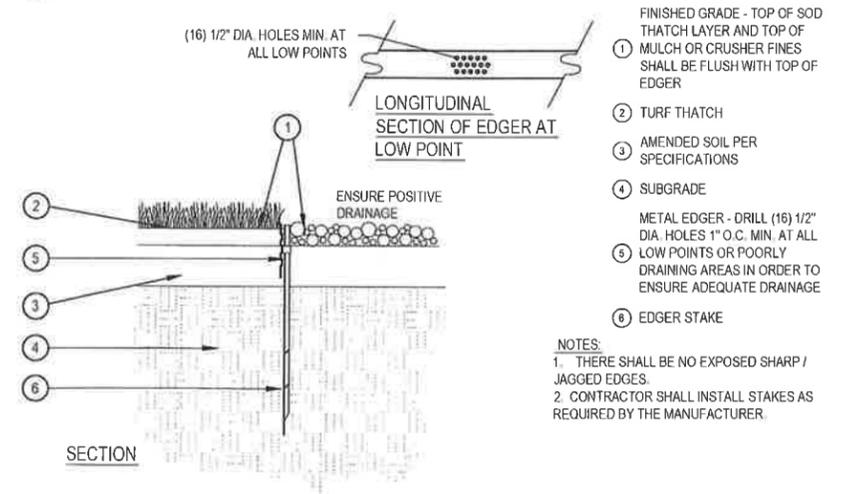
- SPECIFIED MULCH
- AMENDED PLANTING BED TILLED TO A DEPTH OF 6"
- CENTER OF PLANT



- 2"X4" CEDAR RAILS ON BACK OF FENCE (TOP, MIDDLE, & BOTTOM)
- 1"X6" CEDAR PICKETS WITH "DOG EAR TOPS"
- 4"X4" CEDAR POSTS ON BACK OF FENCE @ O.C.
- CONC. FOOTING 10" MIN. DIAMETER 36" DEPTH

3 PERENNIAL PLANT LAYOUT

4 6' PRIVACY WOOD FENCE - Where is this located?

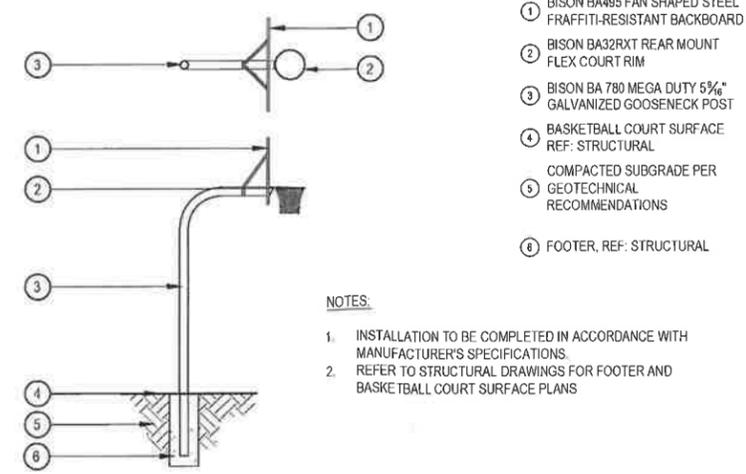


- FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
- TURF THATCH
- AMENDED SOIL PER SPECIFICATIONS
- SUBGRADE
- METAL EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- EDGER STAKE

- NOTES:**
- THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
 - CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

5 METAL EDGER

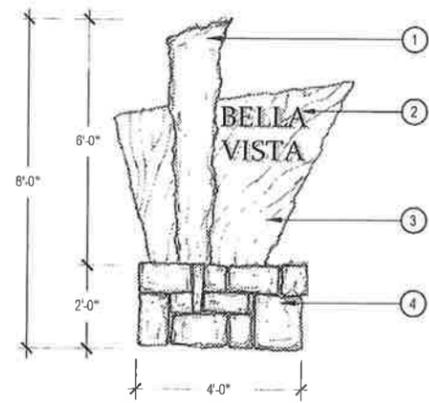
6 BASKETBALL HOOP



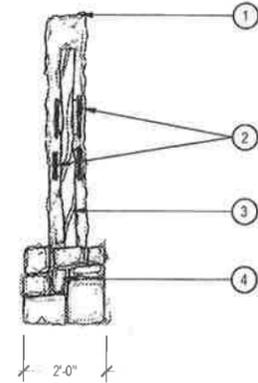
- BISON BA495 FAN SHAPED STEEL FRAFFITI-RESISTANT BACKBOARD
- BISON BA32RXT REAR MOUNT FLEX COURT RIM
- BISON BA 780 MEGA DUTY 5/16" GALVANIZED GOOSENECK POST
- BASKETBALL COURT SURFACE REF. STRUCTURAL
- COMPACTED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
- FOOTER, REF. STRUCTURAL

- NOTES:**
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - REFER TO STRUCTURAL DRAWINGS FOR FOOTER AND BASKETBALL COURT SURFACE PLANS

CHECKED BY: LDJW
DRAWN BY:



FRONT ELEVATION



SIDE ELEVATION

- ① POTENTIAL STONE SIGN ACCENT
- ② PIN MOUNTED LETTERS, FONT IS CONCEPTUAL AND SUBJECT TO CHANGE
- ③ POTENTIAL WOODEN SIGN FACE
- ④ POTENTIAL STONE SIGN BASE

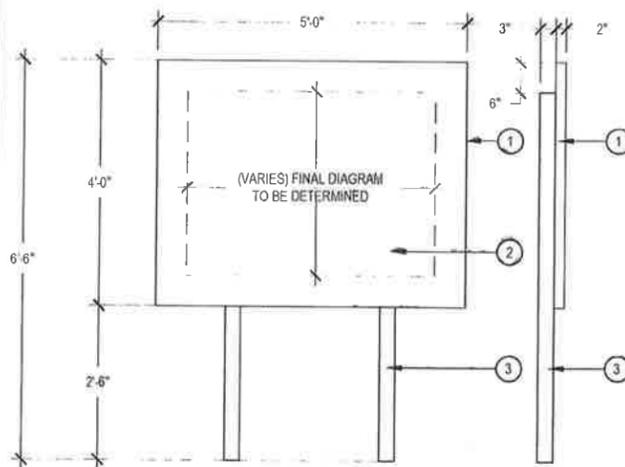
SIGN CRITERIA	
FLOWLINE SETBACK	10'
MAXIMUM AREA	125 SQ.FT.
MAXIMUM HEIGHT	8'

NOTES:

- 1. SIGN SIZE, DIMENSIONS AND MATERIALS ARE CONCEPTUAL AND SUBJECT TO CHANGE.
- 2. SIGN IS INTENDED TO BE DOUBLE SIDED.

① COMPREHENSIVE SIGN PACKAGE

SCALE: 1/2" = 1'-0"



- ① EXTERIOR PLYWOOD SIGN PANEL
- ② COMMUNITY DIAGRAM
- ③ SUPPORT POST

NOTES:

- 1. THIS DIAGRAM IS CONCEPTUAL AND SUBJECT TO CHANGE AS DESIGN AND DEVELOPMENT PROGRESS.
- 2. MATERIALS TO BE DETERMINED BY OWNER'S REPRESENTATIVE.
- 3. STRUCTURAL DESIGN PER MANUFACTURER SPECIFICATIONS.
- 4. WAY-FINDING POSTER TO CONFORM TO CITY OF EVANS STANDARDS 18.30.080.

② WAY-FINDING POSTER

SCALE: 3/4" = 1'-0"



Know what's below.
Call before you dig.

DATE:
PUD - 8/20/2015
PUD - 11/11/2015

SHEET TITLE:
COMPREHENSIVE
SIGN PLAN

IRRIGATION GENERAL NOTES:

- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL THE IMPROVEMENTS SHOWN ON THE PLANS.
- THE IRRIGATION CONTRACTOR SHALL COORDINATE AS NECESSARY WITH THE GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE FOR SUCCESSFUL COMPLETION OF THIS WORK.
- THE CONTRACTOR ASSUMES ALL LIABILITY ASSOCIATED WITH THE MODIFICATION OF THE IRRIGATION SYSTEM DESIGN WITHOUT NOTIFYING THE OWNER'S REPRESENTATIVE.
- ALL IRRIGATION EQUIPMENT IS TO BE AS SPECIFIED OR APPROVED EQUAL PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A THOROUGH SITE INSPECTION AND REVIEW OF THE PROJECT CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: LANDSCAPE PLAN, UTILITY PLAN, CIVIL PLAN, GRADING AND DRAINAGE PLAN AND ALL OTHER ASSOCIATED PLANS THAT AFFECT THIS WORK PRIOR TO BEGINNING CONSTRUCTION. IF THE CONTRACTOR OBSERVES ANY DISCREPANCIES AMONG THE CONSTRUCTION DOCUMENTS AND THE EXISTING CONDITIONS ON SITE, IT IS THEIR RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE REGULATIONS AND INSTALL THE IRRIGATION SYSTEM AND ITS COMPONENTS PER THE MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS REQUIRED BY ANY LOCAL AND STATE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND PAYING FOR TESTING OF THE BACKFLOW PREVENTER BY A STATE CERTIFIED INSPECTOR. THE CONTRACTOR SHALL PROVIDE CERTIFICATES TO OWNER'S REPRESENTATIVE.
- THE CONTRACTOR MUST VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. IF THE CONTRACTOR FAILS TO DO SO AND DAMAGES ANY UNDERGROUND UTILITIES THROUGH THE COURSE OF HIS WORK THE CONTRACTOR SHALL PAY FOR ANY REPAIR WORK ASSOCIATED WITH SAID DAMAGES.
- IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN LANDSCAPE AREAS AND WITHIN THE PROJECT LIMITS. EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN FOR GRAPHIC CLARITY ONLY. IF THERE IS A QUESTION REGARDING THE LOCATION OF ANY COMPONENT OF THE IRRIGATION SYSTEM, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE. IF THE CONTRACTOR NEGLECTS TO NOTIFY THE NECESSARY PARTIES, THE CONTRACTOR SHALL PAY FOR ANY REPLACEMENT OR MODIFICATION TO INSURE PROPER LOCATION AND OPERATION OF THE IRRIGATION SYSTEM AND ITS COMPONENTS.
- ALL IRRIGATION DISTRIBUTION LINES AND EQUIPMENT INCLUDING BUT NOT LIMITED TO, MAINLINE, LATERALS, SPRAY HEADS, ROTORS, ROTARY SPRAYS, DRIP EMITTERS SHALL BE KEPT A MINIMUM DISTANCE OF 6' AWAY FROM ALL BUILDING AND WALL FOUNDATIONS, OR AS STIPULATED IN THE GEOTECHNICAL REPORT, WHICHEVER IS GREATER.
- ALL VALVE BOXES AND LIDS SHALL BE PLASTIC WITH SELF-LOCKING COVERS. LID COLOR TO BE GREEN. INSTALL PER THE CONSTRUCTION DETAILS. DO NOT INSTALL IN PAVED AREAS.
- ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 1'-0" FROM THE EDGE OF PAVED SURFACES AND 3'-0" FROM THE CENTERLINE OF DRAINAGE SWALES OR RETENTION BASINS. THE CONTRACTOR SHALL ADJUST ALL VALVE BOXES TO BE FLUSH FINISH GRADE.
- GROUNDING FOR THE IRRIGATION CONTROLLER IS TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND PER THE AMERICAN SOCIETY OF IRRIGATION CONSULTANTS GUIDELINE 100-2002 FOR EARTH GROUNDING ELECTRONIC EQUIPMENT IN IRRIGATION SYSTEMS FOUND AT www.asic.org/Design_Guides.aspx. FOR TECHNICAL SUPPORT REGARDING THE IRRIGATION CONTROLLER OR GROUNDING PLEASE CONTACT RAIN BIRD TECHNICAL SERVICES (800) 724-6247.
- THE CONTRACTOR SHALL EXTEND THREE SPARE CONTROL WIRES (ONE COMMON AND 2 CONTROL WIRES) FROM THE IRRIGATION CONTROLLER TO THE END OF ALL MAINLINE BRANCHES SERVING THAT CONTROLLER. COIL 30" LENGTH MIN. OF SPARE WIRES IN A 10" ROUND VALVE BOX.
- CONTROLLER WIRE SHALL BE 14GA MIN. UL APPROVED WIRE, COLOR CODED PER VALVE, TAPED AND BUNDLED EVERY 10'. CONTRACTOR SHALL USE UL APPROVED WIRE STRIPPER AND WATERPROOF CONNECTIONS AT ALL SPLICES AND CONNECTIONS POINTS.
- THE CONTRACTOR SHALL INSTALL TRACER WIRE IN ALL PRESSURE MAINLINE TRENCHES. SEE IRRIGATION DETAILS FOR MORE INFORMATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ADEQUATE VERTICAL SEPARATION BETWEEN ALL IRRIGATION DISTRIBUTION LINES AND ALL UTILITIES (EXISTING OR PROPOSED), CONDUIT, STORM WATER COMPONENTS, DRAINS, ETC.
- PLANT MATERIAL LOCATIONS TAKE PRECEDENCE OVER IRRIGATION LINES. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL INCLUDING PERENNIAL BEDS.
- THE CONTRACTOR SHALL STAKE THE LOCATION OF THE MAINLINE, DRIP IRRIGATION LINES, CONTROL VALVES, GATE VALVES, ETC. AND SCHEDULE A REVIEW WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- LAYOUT DRIP LATERALS PARALLEL TO TOPOGRAPHY WHEREVER POSSIBLE. STAKE 3/4" DRIP TUBING IN PLACE AT 12" DEPTH AND BURY. INSTALL HOSE END FLUSHABLE TYPE END CAP AT ENDS OF ALL 3/4" POLYETHYLENE DRIP TUBING AND FLUSH THOROUGHLY BEFORE INSTALLING EMITTERS.
- TREES, SHRUBS AND GROUND COVER SHALL BE IRRIGATED BY PRESSURE REGULATING SINGLE OUTLET EMITTERS. SEE EMITTER SCHEDULE FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL FINE TUNE AND ADJUST NOZZLE DIRECTION AND RADIUS TO REDUCE OVERSPRAY ONTO PAVING OR HARD SURFACES.
- CONTRACTOR SHALL INSTALL A QUICK COUPLER IN 10" VALVE BOX AT THE END OF ALL BRANCHES OF THE MAINLINE, OR AS SHOWN ON PLANS, FOR WINTERIZATION AND FLUSHING OF MAINLINE.
- THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO OPERATE DURING A SIX NIGHT PER WEEK, EIGHT HOUR PER NIGHT WATERING WINDOW. ESTABLISHMENT WATERING WILL REQUIRE UP TO TWICE AS MUCH IRRIGATION FOR A 21 DAY PERIOD. THE DESIGN IS BASED ON THE FOLLOWING PROJECTED WEEKLY APPLICATION RATES AFTER ESTABLISHMENT. THESE FIGURES ARE BASED ON A 30-YEAR AVERAGE WEATHER DATA AND WILL NEED TO BE ADJUSTED DUE TO SEASONAL CHANGES AND WEATHER CONDITIONS ABOVE AND BELOW THE AVERAGE VALUES UTILIZED.

FRONT RANGE DROUGHT RESISTANT FESCUE BLEND TURF	1.75" PER WEEK PEAK SEASON
DRYLAND SEED MIXES	1.00" PER WEEK PEAK SEASON (TWO SEASONS)
- THE CONTRACTOR SHALL PROVIDE A SEASONAL MAINTENANCE SCHEDULE WHICH SHALL BEGIN ON APRIL 15 AND END ON OCTOBER 15 TO INSURE THE EFFICIENCY AND LONGEVITY OF THE IRRIGATION SYSTEM. THE MAINTENANCE SCHEDULE SHALL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING LIST OF BEST MANAGEMENT PRACTICES:
 - CHECK HEADS FOR COVERAGE AND LEAKAGE.
 - CHECK CONTROLLER PROGRAMMING AND ADJUST FOR SEASONAL CHANGES AS NECESSARY.
 - VERIFY THAT THE WATER SUPPLY AND PRESSURE ARE AS STATED IN THE DESIGN.
 - CERTIFY THE BACKFLOW PREVENTION DEVICE AND SUBMIT TEST RESULTS TO THE PROPERTY MANAGER.
 - PERIODICALLY VERIFY THE THE SENSORS IN THE IRRIGATION SYSTEM ARE OPERATING CORRECTLY.
 - WINTERIZATION AND SPRING START UP PROCEDURES.

IRRIGATION POINT OF CONNECTION NOTES:

- POINT OF CONNECTION:** THE POINT OF CONNECTION IS LOCATED ON THE NORTHWEST CORNER OF SITE 47 AT TRACT D. CONNECT DOWN STREAM OF THE POTABLE SOURCE WATER METER (PROVIDED BY OTHERS) WITH 1-1/2" TYPE K COPPER AT A DEPTH OF 48" OR PER LOCAL CODE, WHICHEVER IS GREATER TO THE BACKFLOW PREVENTER. INSTALL ONE MANUAL DRAIN VALVE. ONE 1-1/2" FEBCO 825Y BACKFLOW PREVENTER IN A GUARDSHACK ENCLOSURE WITH FROST BLANKET. EXTEND 1-1/2" TYPE K COPPER A MINIMUM 30' BEYOND ENCLOSURE TO ONE 1" QUICK COUPLER VALVE. TRANSITION TO AND EXTEND 1-1/2" CL200 PVC MAINLINE TO VALVES AS SHOWN.
THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES. OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS ASSOCIATED WITH THIS WORK. FINAL LOCATION OF BACKFLOW PREVENTERS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTROLLER LOCATION:** THE HUNTER XC HYBRID CONTROLLER IS POLE MOUNTED IN THE LANDSCAPE AREA ADJACENT TO THE BACKFLOW PREVENTER. THE CONTROLLER IS SOLAR POWERED WITH A LOCKABLE, STAINLESS STEEL ENCLOSURE. CONTRACTOR TO COORDINATE WITH HUNTER REPRESENTATIVE FOR ADDITIONAL INFORMATION ON INSTALLATION OR MOUNTING.
- SENSORS:** POLE MOUNT THE HUNTER RAIN-CLIK IN A LANDSCAPE AREA NEAR THE CONTROLLER LOCATION. THE SENSOR SHALL BE MOUNTED IN LOCATION IN FULL SUN AND OPEN TO RAINFALL. SENSOR SHALL BE NO MORE THAN 800' (LINE OF SIGHT) FROM WIRELESS RECEIVER.
- FINAL BACKFLOW PREVENTER, IRRIGATION CONTROLLER, RAIN SENSOR LOCATION AND SENSOR MOUNTING SYSTEM TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- SYSTEM PRESSURE:** THE SYSTEM HAS BEEN DESIGNED FOR A REQUIRED MINIMUM STATIC PRESSURE OF 70 PSI AND MAXIMUM SAFE FLOW OF 35 GPM. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRESSURE IN THE FIELD AT THE POINT OF CONNECTION BEFORE CONSTRUCTION BEGINS AND FOR NOTIFYING THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCY BETWEEN THE DESIGN PRESSURE OF THE SYSTEM AND THE MEASURED PRESSURE IN THE FIELD. IF THE CONTRACTOR FAILS TO NOTIFY OWNER'S REPRESENTATIVE OF SUCH DISCREPANCIES, THEN THE CONTRACTOR ASSUMES ALL LIABILITY AND COSTS ASSOCIATED WITH SYSTEM MODIFICATIONS TO ACCOMMODATE THE ACTUAL PRESSURE.
- ALL IRRIGATION EQUIPMENT IS TO BE AS SPECIFIED, OR APPROVED EQUAL PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.

SLEEVING COORDINATION NOTES

- INSTALLATION OF IRRIGATION SLEEVING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.** SLEEVES SHALL BE INSTALLED PRIOR TO THE START OF PAVING OPERATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR FOR LOCATION AND SIZING OF SLEEVES PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL SLEEVE ALL IRRIGATION DISTRIBUTION LINES, VALVE CONTROL WIRES AND COMMUNICATION WIRES UNDER ALL PAVED SURFACES, WALL FOOTERS, DRAINAGE CHANNELS, INLETS, CATCH BASINS, ETC.
- ALL SLEEVES SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND EDGE OF ALL OBSTRUCTIONS. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER ANY OBSTRUCTIONS.
- SLEEVING SHALL BE INSTALLED PER THE SIZES AND QUANTITIES SHOWN ON THE PLANS BASED ON THE CHART BELOW. ALL MAINLINE, VALVE CONTROL AND COMMUNICATION WIRES. LATERALS AND 3/4" POLYETHYLENE DRIP TUBING UNDER PAVED SURFACES ARE TO BE INSTALLED IN SEPARATE SLEEVING.

SLEEVED PIPE SIZE/WIRE QTY.	REQUIRED SLEEVE SIZE AND QTY.
3/4"-1" PIPING	2" PVC (1)
1-50 CONTROL WIRES	3" PVC (1)

IRRIGATION SCHEDULE:

SYMBOL	DESCRIPTION	MFR	MODEL NO.	COMMENTS	DETAIL
	POINT OF CONNECTION	NA	Connect to proposed potable water service line with 1-1/2" Type K copper and extend to backflow preventer.	Refer to Utility and Grading Plans	
	BACKFLOW PREVENTER	FEBCO	1-1/2" FEBCO 825YA Backflow Preventer with manual drain valve and quick coupler	In Guardshack Enclosure	
NOT SHOWN	SECURITY ENCLOSURE	GUARD SHACK	Guard Shack GS-1.0 Lift-Off Enclosure 10"W X 24"H X 22"L	Color: Green	
	IRRIGATION CONTROLLER	HUNTER	Hunter XCH-1200-SS-SPXCH SOLAR (12 Valve fixed)	XCHSPOLE with XCHSPB Pole Mount	
	RAIN SENSOR	HUNTER	Rain-Clk RainFreeze Sensor (WR-CLIK-TR)	Wireless pole mount	
	MANUAL DRAIN VALVE	WATTS	Carson 910 Round Valve Box Watts WGV Bronze Gate Valve		
	GATE VALVE	WATTS	Carson 1419 Standard Valve Box Watts WGV Bronze Gate Valve	Size per line size Threaded ends	
	QUICK COUPLER	HUNTER	Carson 1419 Standard Valve Box 1" Rain Bird LRC-44		
	VALVE ASSEMBLY TURF	HUNTER	1" NIBCO Sch 40 PVC Ball Valve 1" Hunter ICV-101G Hunter 458200 DC Latching Solenoid	7 Valves	
	VALVE ASSEMBLY DRIP	HUNTER	1" NIBCO Sch 40 PVC Ball Valve 1" Hunter ICZ-101-LF Drip Control Valve Hunter 458200 DC Latching Solenoid	4 Valves	
	TURF ROTARY 10' - 13'	HUNTER	Hunter MP1000 PROS-04-CV Turf Rotator, 4" pop-up with check valve, pressure regulated to 40 psi M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.	MP Rotator nozzle on PRS40 body. Matched precipitation rate @ 0.4"/hr.	
	TURF ROTARY CORNER	HUNTER	Hunter MP Corner PROS-04-CV Turf Rotator, 4" pop-up with factory installed check valve, pressure regulated to 40 psi. T=Turquoise adj arc 45-105.	MP Rotator nozzle on PRS40 body. Matched precipitation rate @ 0.4"/hr.	
	TURF ROTARY 6' - 12'	HUNTER	Hunter MP800SR PROS-04-PRS-30-CV Turf Rotator, 4" pop-up with check valve, pressure regulated to 30 psi. ADJ=Orange and Gray (arc 90-210), 360 = Lime Green and Gray (arc 360)	MP Rotator nozzle on PRS30 body. Matched precipitation rate @ 0.8"/hr.	
	SLEEVING	NA	Class 160 PVC	See Sleeving Notes	
	SERVICE LINE	NA	1-1/2" Type K Copper	Meter to Backflow	
	PVC MAINLINE	NA	1-1/2" Class 200 BE PVC	Unless otherwise noted on the plan	
	PVC TURF LATERAL	NA	1" Class 200 PVC	Unless otherwise noted on the plan	
	DRIP LATERAL	NA	3/4" Polyethylene Drip Tubing	Unless otherwise noted on the plan	
	FLUSH END CAP	NA	Carson 910 Round Valve Box Polyethylene Hose End Flush Cap		
VALVE CALLOUTS		EMITTER SCHEDULE			
<p>Valve/Station Number: Zone Designation: D (Drip-Trees/Shrubs), R (Rotary Spray) Valve Flow: (GPM) Valve Size</p>		PLANT TYPE	EMITTER RATE	#EMITTERS	
		GRASSES/PERENNIALS	0.5 GPH	ONE EACH	
		5 GAL SHRUBS	1.0 GPH	ONE EACH	
		2" CAL B&B TREE	1.0 GPH	SIX EACH	
		2-1/2" CAL B&B TREE	1.0 GPH	SIX EACH	
EMITTER NOTES					
1. ALL PLANT MATERIAL SHALL BE IRRIGATED W/ RAIN BIRD XB SERIES PRESSURE REGULATING EMITTERS.					
2. 1/4" DISTRIBUTION TUBING NOT TO EXCEED 8' IN LENGTH.					
3. RAIN BIRD DBC-025 DIFFUSER BUG CAP ON ALL 1/4" DISTRIBUTION TUBING.					
NATIVE SEED					
	IRRIGATED DRYLAND SEED MIX	IRRIGATED DRYLAND SEED AREAS SHALL BE 12" POP-UP SPRAY IRRIGATED AT APPROXIMATELY 50% COVERAGE FOR ESTABLISHMENT AND ARE ZONED SEPARATELY TO BE TURNED OFF AFTER THE ESTABLISHMENT PERIOD.			



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BELLA VISTA
 PLANNED UNIT DEVELOPMENT
 EVANS, COLORADO

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DBA: Bella Vista MHP
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720-201-5565
Jim Feehan

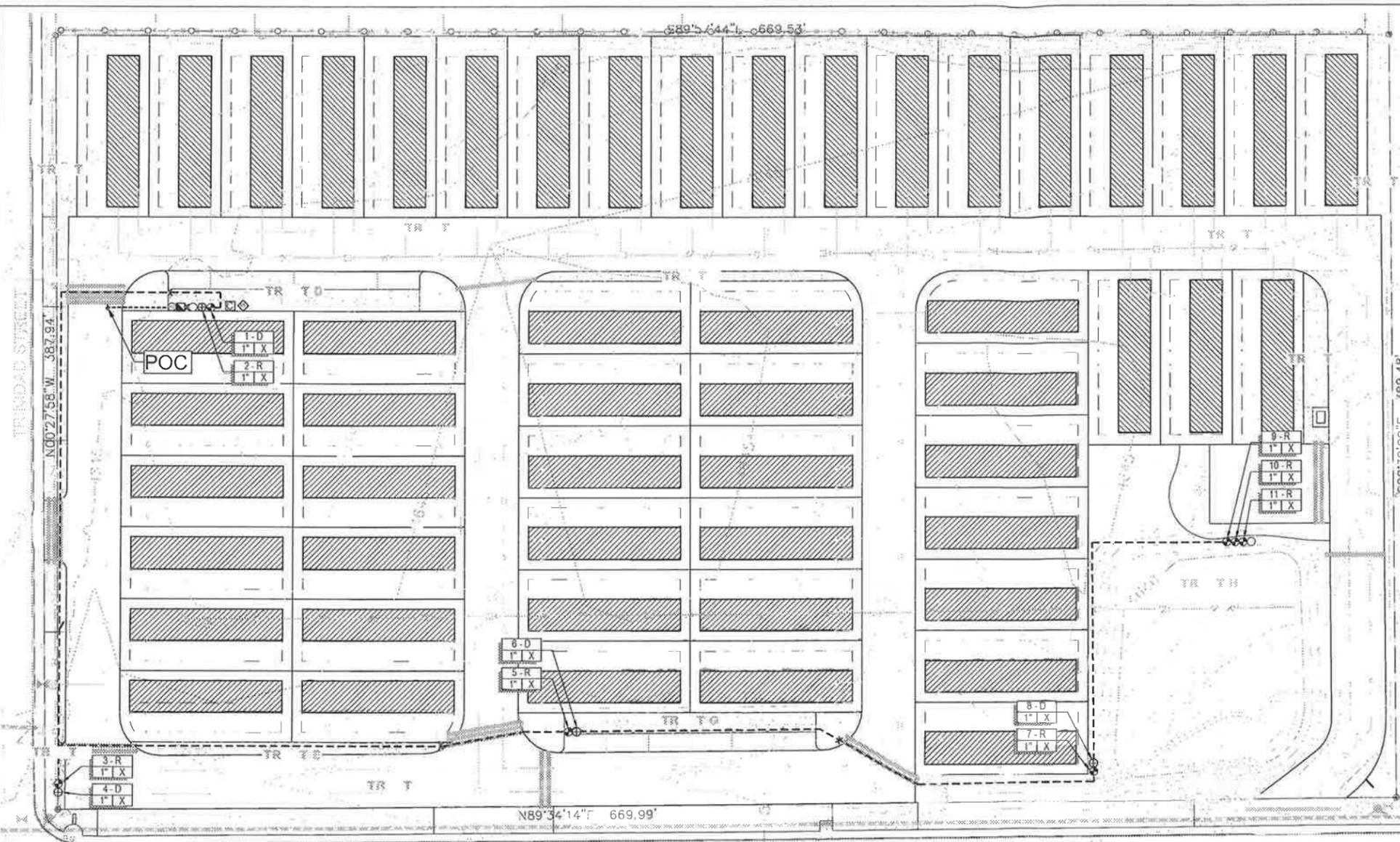
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Know what's below.
Call before you dig.

DATE:
PUD - 8/20/2015
PUD - 11/11/2015

SHEET TITLE:
IRRIGATION
NOTES



IRRIGATION SCHEDULE:

SYMBOL	DESCRIPTION	MFR	MODEL NO.	COMMENTS	DETAIL
POC	POINT OF CONNECTION	NA	Connect to proposed potable water service line with 1-1/2" Type K copper and extend to backflow preventer.	Refer to Utility and Grading Plans	
□	BACKFLOW PREVENTER	FEBCO	1-1/2" FEBCO 825YA Backflow Preventer with manual drain valve and quick coupler	In Guardshack Enclosure	
NOT SHOWN	SECURITY ENCLOSURE	GUARD SHACK	Guard Shack GS-1.0 Lift-Off Enclosure 10"W X 24"H X 22"L	Color: Green	
⊠	IRRIGATION CONTROLLER	HUNTER	Hunter XCH-1200-SS-SPXCH SOLAR (12 Valve fixed)	XCHSPOLE with XCHSPB Pole Mount	
◇	RAIN SENSOR	HUNTER	Rain-Click Rain/Freeze Sensor (WR-CLIK-TR)	Wireless pole mount	
⊙	MANUAL DRAIN VALVE	WATTS	Carson 910 Round Valve Box Watts WGV Bronze Gate Valve		
✕	GATE VALVE	WATTS	Carson 1419 Standard Valve Box Watts WGV Bronze Gate Valve	Size per line size Threaded ends	
○	QUICK COUPLER	HUNTER	Carson 1419 Standard Valve Box 1" Rain Bird LRC-44		
⊙	VALVE ASSEMBLY TURF	HUNTER	1" NIBCO Sch 40 PVC Ball Valve 1" Hunter ICV-101G Hunter 458200 DC Latching Solenoid	7 Valves	
⊕	VALVE ASSEMBLY DRIP	HUNTER	1" NIBCO Sch 40 PVC Ball Valve 1" Hunter ICZ-101-LF Drip Control Valve Hunter 458200 DC Latching Solenoid	4 Valves	
⊙	TURF ROTARY	HUNTER	Hunter MP1000 PROS-04-CV Turf Rotator, 4" pop-up with check valve, pressure regulated to 40 psi. M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.	MP Rotator nozzle on PRS40 body. Matched precipitation rate @ 0.4"/hr.	
⊙	TURF ROTARY CORNER	HUNTER	Hunter MP Corner PROS-04-CV Turf Rotator, 4" pop-up with factory installed check valve, pressure regulated to 40 psi. T=Turquoise adj arc 45-105	MP Rotator nozzle on PRS40 body. Matched precipitation rate @ 0.4"/hr.	
⊙	TURF ROTARY	HUNTER	Hunter MP800SR PROS-04-PRS30-CV Turf Rotator, 4.0" pop-up with check valve, pressure regulated to 30 psi. ADJ=Orange and Gray (arc 90-210), 360 = Lime Green and Gray (arc 360)	MP Rotator nozzle on PRS30 body. Matched precipitation rate @ 0.8"/hr.	
---	SLEEVING SERVICE LINE	NA	Class 160 PVC	See Sleeving Notes	
---	PVC MAINLINE	NA	1-1/2" Type K Copper	Meier to Backflow Unless otherwise noted on the plan	
---	PVC TURF LATERAL	NA	1" Class 200 PVC	Unless otherwise noted on the plan	
---	DRIP LATERAL	NA	3/4" Polyethylene Drip Tubing		
---	FLUSH END CAP	NA	Carson 910 Round Valve Box Polyethylene Hose End Flush Cap		

VALVE CALLOUTS	EMITTER SCHEDULE		
	PLANT TYPE	EMITTER RATE	#EMITTERS
Valve/Station Number Zone Designation: D (Drip-Trees/Shrubs), R (Rotary Spray)	GRASSES/PERENNIALS	0.5 GPH	ONE EACH
Valve Flow: (GPM) Valve Size	5 GAL SHRUBS	1.0 GPH	ONE EACH
	2" CAL. B&B TREE	1.0 GPH	SIX EACH
	2-1/2" CAL. B&B TREE	1.0 GPH	SIX EACH

- EMITTER NOTES**
- ALL PLANT MATERIAL SHALL BE IRRIGATED W/ RAIN BIRD XB SERIES PRESSURE REGULATING EMITTERS.
 - 1/4" DISTRIBUTION TUBING NOT TO EXCEED 8' IN LENGTH.
 - RAIN BIRD DBC-025 DIFFUSER BUG CAP ON ALL 1/4" DISTRIBUTION TUBING.

SYMBOL	DESCRIPTION	IRRIGATION APPLICATION
⊙	IRRIGATED DRYLAND SEED MIX	IRRIGATED DRYLAND SEED AREAS SHALL BE 12" POP-UP SPRAY IRRIGATED AT APPROXIMATELY 50% COVERAGE FOR ESTABLISHMENT AND ARE ZONED SEPARATELY TO BE TURNED OFF AFTER THE ESTABLISHMENT PERIOD.



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EVANS, COLORADO

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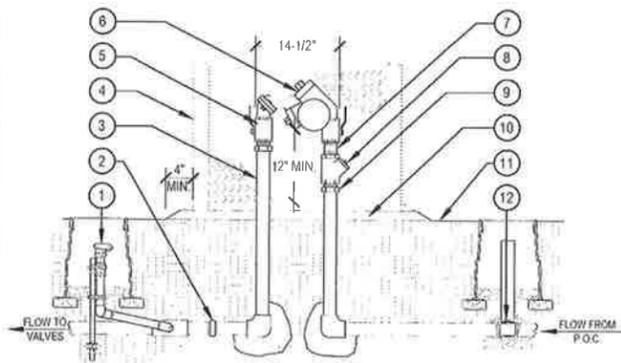
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CONSTRUCTION



DATE:
PUD - 8/20/2015
PUD - 11/11/2015

SHEET TITLE:
CONCEPTUAL
IRRIGATION PLAN



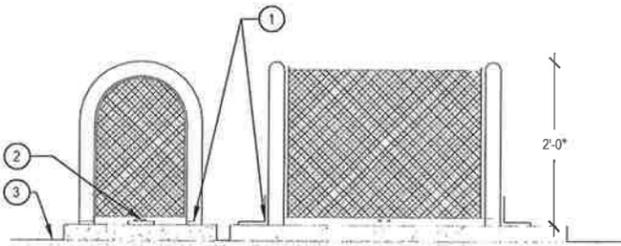


- 1 QUICK COUPLING VALVE
- 2 PVC ADAPTOR 30" BEYOND UNIT
- 3 TYPE K COPPER (TYP)
- 4 BACKFLOW PREVENTER ENCLOSURE PER SCHEDULE
- 5 BRASS BALL VALVE
- 6 BACKFLOW PREVENTER
- 7 BRASS NIPPLE
- 8 BRASS WYE STRAINER (100 MESH)
- 9 COPPER ADAPTER
- 10 4" THICK CONCRETE PAD
- 11 FINISH GRADE
- 12 MANUAL DRAIN VALVE

NOTE:
 1. INSTALL PER LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS.
 2. PROVIDE PVC PIPE PROTECTION AROUND COPPER SUPPLY LINES AS THEY GO THROUGH THE CONCRETE SLAB BASE.
 3. BACKFLOW PREVENTION DEVICES SHALL BE PLACED A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND SHALL BE THE SAME SIZE AS THE METER SERVICE LINE.
 4. PROVIDE THRUST BLOCKS FOR LINES 2-1/2" OR LARGER

1 BACKFLOW PREVENTER

SCALE: NTS

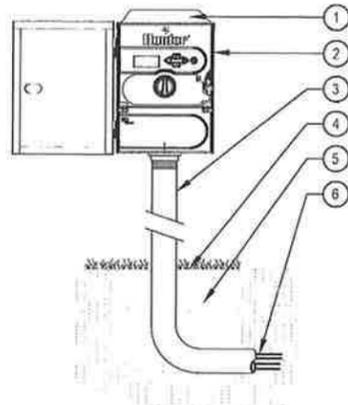


- 1 WELDED BRACKETS - BOTH ENDS
- 2 DRILL TWO 5/16" HOLES CENTERED FOR LOCKING BRACKET
- 3 FINISH GRADE

NOTE:
 1. INSTALL GUARDSHACK GS1 = 10" W x 24" H x 22" L LIFT-OFF UNIT 51 POWDER COATED STEEL GUARD SHACK PER MANUFACTURER'S SPECIFICATIONS.
 2. ALL BOLTS FOR MOUNTING BRACKETS SHALL BE ZINC PLATED TAMPER PROOF.
 3. PRODUCT AVAILABLE FROM GUARDSHACK 3831 E. GROVE ST. PHOENIX, AZ 85040 PH: (602) 426-1002 EXT. 422 FX: (602) 426-1005
 4. PROVIDE KEYED PADLOCK, MASTER LOCK MODEL #957 W/ (2) TWO KEYS FOR LOCKING SECURITY ENCLOSURE.

2 GUARDSHACK LIFT-OFF BACKFLOW ENCLOSURE

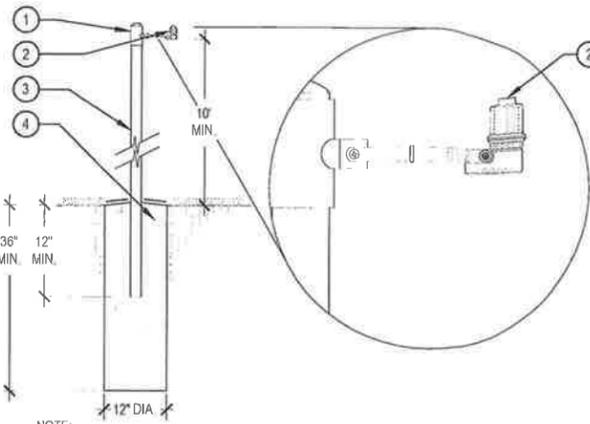
SCALE: NTS



- 1 MODEL SPXCH SOLAR PANEL MOUNTED TO TOP OF CONTROLLER BOX
- 2 MODEL XCH-1200-SS
- 3 STEEL CONDUIT (XCHS) WITH SWEEP ELBOW FOR CONTROL WIRE AND CONTROLLER SUPPORT WITH (XCHSPB) POLE SUPPORT BRACKET MOUNT.
- 4 FINISHED GRADE.
- 5 2 CUBIC FEET OF CONCRETE FOR POST SUPPORT. 12"x6" MIN.
- 6 COMMUNICATION WIRE TO VALVES

3 HUNTER XC-HYBRID SOLAR IRRIGATION CONTROLLER

SCALE: NTS

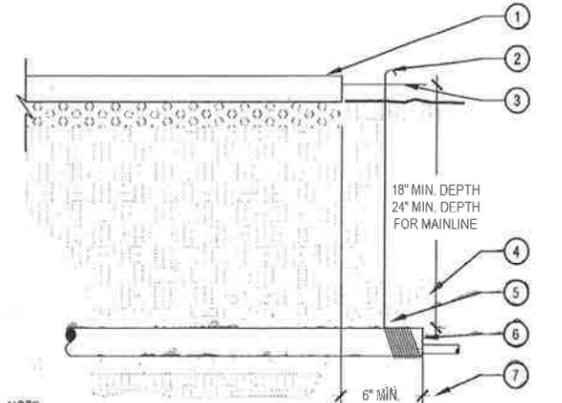


- 1 1-1/2" x 1-1/2" F x F SCH. 40 GALV. TEE WITH 1-1/2" PLUG.
- 2 WIRELESS RAIN SENSOR, LOCATE WITHIN 700' OF THE CONTROLLER.
- 3 1-1/2" DIAMETER SCH. 40 GALVANIZED STEEL POST.
- 4 12" DIA. CONCRETE BASE-FORM WITH SONA-TUBE OR EQ. POST SHALL BE CENTERED WITHIN BASE.

NOTE:
 1. INSTALL WR-2 NO GREATER THAN 700' FROM THE RECEIVER.
 2. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 3. SLOPE TOP OF FOOTER AWAY FROM POLE.
 4. FINAL LOCATION AND MOUNTING SYSTEM TO BE APPROVED BY OWNER.

4 RAIN-CLIK RAIN SENSOR (POLE MOUNTED)

SCALE: NTS

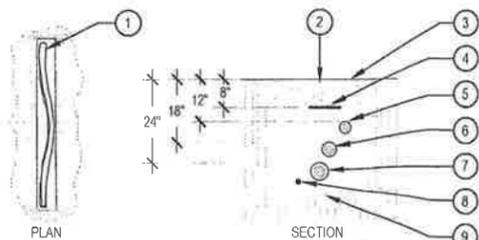


- 1 PAVING
- 2 WRAP 12 GAUGE GALVANIZED WIRE AROUND EACH END OF SLEEVE (10 WRAPS MIN.) AND EXTEND TO SURFACE AS A LOCATING DEVICE.
- 3 FINISH GRADE / TOP OF DG.
- 4 COMPACT SOIL AROUND SLEEVE TO SAME DENSITY AS ADJACENT UNDISTURBED SOIL.
- 5 WASHED AND GRADED MORTAR SAND BACKFILL IN ROCKY SOIL CONDITIONS.
- 6 PVC SLEEVE PER SCHEDULE. TWICE DIAMETER OF THE SUM OF THE PIPES/ WIRES
- 7 EXTEND SLEEVES 6" BEYOND EDGES OF PAVING

NOTE:
 1. ALL SLEEVES SHALL BE INSPECTED PRIOR TO BACKFILLING.
 2. CAP SLEEVES UNTIL USE.
 3. MULTIPLE SLEEVES REQUIRE 4" HORIZONTAL SEPARATION WITHIN SAME SLEEVE TRENCH.
 4. IRRIGATION PIPE AND WIRE SHALL NOT SHARE THE SAME SLEEVE.
 5. MARK / STAMP - 'X' AND/OR INSTALL PLACARD AT BACK OF CURB.

5 IRRIGATION SLEEVE

SCALE: NTS

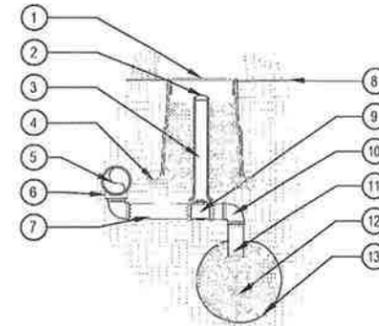


- 1 SNAKE PVC OR POLYETHYLENE PIPE IN TRENCH
- 2 EXCAVATED COVER MATERIAL (SEE NOTES)
- 3 FINISH GRADE
- 4 INDICATOR TAPE (MAIN LINE)
- 5 POLYETHYLENE DRIP LATERAL (12" MIN. COVERAGE, 18" MIN. COVERAGE BELOW PEDESTRIAN WALKS.)
- 6 IRRIGATION SUB-MAIN LATERAL
- 7 IRRIGATION MAINLINE
- 8 VALVE WIRING
- 9 BEDDING MATERIAL (SEE NOTES)

NOTE:
 1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. ALL PVC PIPING TO BE SNAKED IN TRENCHES AS SHOWN IN PLAN VIEW ABOVE.
 3. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED AS PER LOCAL CODES.
 4. ALL ELECTRICAL WIRE CONNECTIONS TO VALVES AND SPLICES TO BE INSTALLED WITHIN A VALVE BOX AND MADE WITH DBY WATERPROOF CONNECTORS, OR APPROVED EQUAL.
 5. BUNDLE AND TAPE WIRING AT 10' INTERVALS
 6. VALVE WIRES TO BE INSTALLED WITHIN MAINLINE TRENCH WHEREVER POSSIBLE.
 7. BEDDING MATERIAL SHALL BE 1/4" MINUS SAND, AND SHALL BE 3" BELOW LOWEST PIPE OR WIRE AND 3" ABOVE HIGHEST PIPE, OR WEIR WITHIN TRENCH.
 8. BEDDING MATERIAL SHALL BE IN MAINLINE TRENCH ONLY.
 9. BEDDING IS NOT REQUIRED IN POLYETHYLENE TUBING TRENCHES.
 10. EXCAVATED COVER MATERIAL SHALL BE FREE FROM DEBRIS AND ROCKS 1/2" OR GREATER.
 11. PIPE BEDDING MATERIAL TO BE ROCK AND DEBRIS FREE, BACKFILL IN 6" LIFTS, PUDDLE WITH WATER, BETWEEN LIFTS.

6 IRRIGATION TRENCH

SCALE: NTS

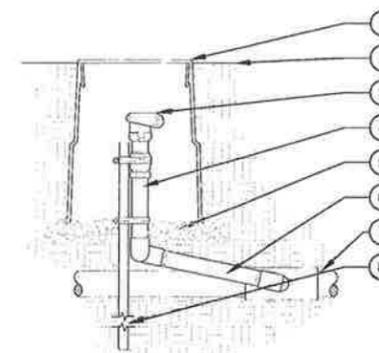


- 1 10" LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 2 2" VALVE MARKER
- 3 2" CL160 PVC ACCESS SLEEVE LENGTH AS REQUIRED.
- 4 3" DEPTH 3/4" CRUSHED GRAVEL 6" BEYOND EDGE OF BOX
- 5 PVC PRESSURE MAIN LINE
- 6 SCH. 80 TEE PER MAINLINE SIZE. ALIGN IN A DOWNWARD POSITION
- 7 SCH. 80 PVC NIPPLE
- 8 FINISH GRADE
- 9 1" BRONZE STOP VALVE WITH SLOTTED KEY OPERATOR
- 10 SCH. 80 PVC ELL
- 11 SCH. 80 PVC NIPPLE
- 12 3/4" GRAVEL SUMP - 1 CU. FT. MIN
- 13 SOIL BLANKET ENCLOSING SUMP AMOCO ENG. FABRIC 4545 - 4.5 OZ. OR EQUAL

NOTE:
 1. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.
 2. LOCATE DRAIN VALVE AT POINT OF CONNECTION AND AT ALL LOW POINT(S) ALONG THE IRRIGATION MAINLINE AS NEEDED.

7 MANUAL DRAIN VALVE

SCALE: NTS

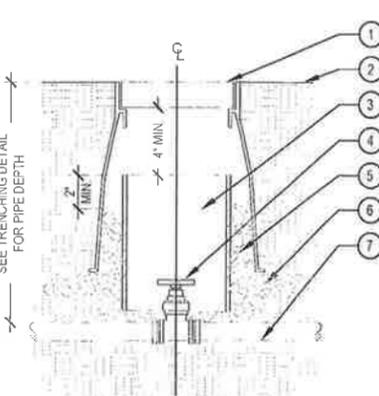


- 1 6" ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO FLUSH WITH FINISH GRADE
- 2 FINISH GRADE
- 3 QUICK COUPLING VALVE W/ LOCKING COVER PER SCHEDULE
- 4 SCH. 80 NIPPLE
- 5 3" DEPTH 3/4" GRAVEL BASE EXTEND 6" BEYOND EDGE OF BOX
- 6 1" PVC SWING JOINT
- 7 PVC MAINLINE
- 8 24" #4 REBAR TO HOLD COUPLER IN PLACE W/ (2) STAINLESS STEEL CLAMPS

NOTE:
 1. EACH QUICK COUPLER SHALL BE IN A SEPARATE VALVE BOX
 2. PROVIDE (1) QUICK COUPLER KEY FOR EACH QUICK COUPLER VALVE.
 3. QUICK COUPLER SHALL HAVE YELLOW LOCKING RUBBER COVER
 4. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 5. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE

8 QUICK COUPLER

SCALE: NTS

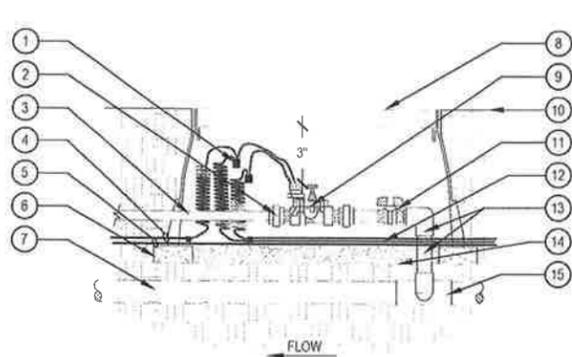


- 1 LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 2 FINISH GRADE
- 3 2" CL160 PVC ACCESS SLEEVE LENGTH AS REQUIRED.
- 4 GATE VALVE W/ CROSS HANDLE AND SOLID WEDGE DISC PER SCHEDULE
- 5 3/4" GRAVEL SUMP FILL IN AND AROUND BOX AS REQUIRED.
- 6 3" DEPTH 3/4" GRAVEL EXTEND 6" BEYOND EDGE OF BOX
- 7 PVC MAINLINE AS PER PLAN

NOTE:
 1. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 2. DO NOT REST VALVE BOX OR ACCESS SLEEVES ON MAINLINE OR LATERAL LINE.
 3. PROVIDE GATE VALVE KEY - LENGTH AS REQUIRED.

9 GATE VALVE 3" & SMALLER

SCALE: NTS

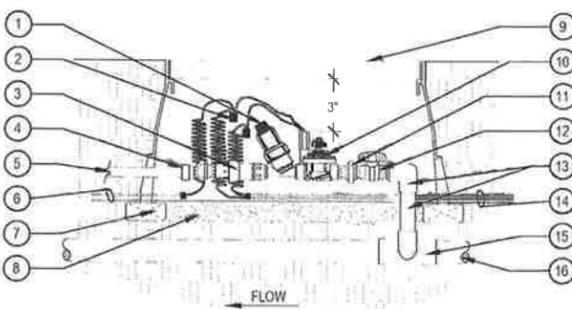


- 1 WATERPROOF CONNECTORS
- 2 SCH. 80 PVC UNION (TYP) OF 2
- 3 PVC LATERAL
- 4 COMMON WIRE TO NEXT VALVE(S)
- 5 CONTROL WIRE TO NEXT VALVE(S)
- 6 BRICK SUPPORTS 4 MIN.
- 7 PVC MAINLINE
- 8 PLASTIC LOCKING VALVE BOX PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 9 VALVE ASSEMBLY
- 10 FINISH GRADE
- 11 PVC BALL VALVE PER SCHEDULE
- 12 WIRES FROM CONTROLLER
- 13 SCH. 80 ELL AND NIPPLE
- 14 3/4" GRAVEL SUMP, 4" DEPTH
- 15 SCH. 80 TEE

NOTE:
 1. BUNDLE & TAPE WIRE EVERY 10 FT. SEAL WIRE ENDS WITH WATERPROOF SPLICING MATERIAL.
 2. 30" MIN. LENGTH OF CONTROL WIRE COILED AND PLACED IN BOX AT WATERPROOF CONNECTION TO SOLENOID.

1 TURF VALVE ASSEMBLY

SCALE: NTS

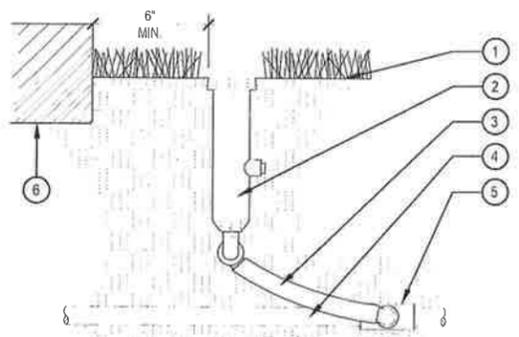


- 1 WYE FILTER PER SCHEDULE
- 2 WATERPROOF CONNECTORS
- 3 PRESSURE REGULATOR PER SCH.
- 4 PVC TO POLY ADAPTER
- 5 3/4" POLY DRIP LATERAL
- 6 COMMON AND CONTROL WIRE TO NEXT VALVE(S)
- 7 BRICK SUPPORTS 4 MIN.
- 8 3/4" GRAVEL SUMP, 4" DEPTH
- 9 PLASTIC LOCKING VALVE BOX PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 10 CONTROL VALVE
- 11 SCH. 80 PVC UNION (TYP.) OF 2
- 12 PVC BALL VALVE PER SCHEDULE
- 13 SCH. 80 ELL AND NIPPLE
- 14 WIRES FROM CONTROLLER
- 15 SCH. 80 PVC TEE
- 16 PVC MAINLINE

NOTE:
 1. BUNDLE & TAPE WIRE EVERY 10 FT. SEAL WIRE ENDS WITH WATERPROOF SPLICING MATERIAL.
 2. 30" MIN. LENGTH OF CONTROL WIRE COILED AND PLACED IN BOX AT WATERPROOF CONNECTION TO SOLENOID.

2 DRIP VALVE ASSEMBLY

SCALE: NTS

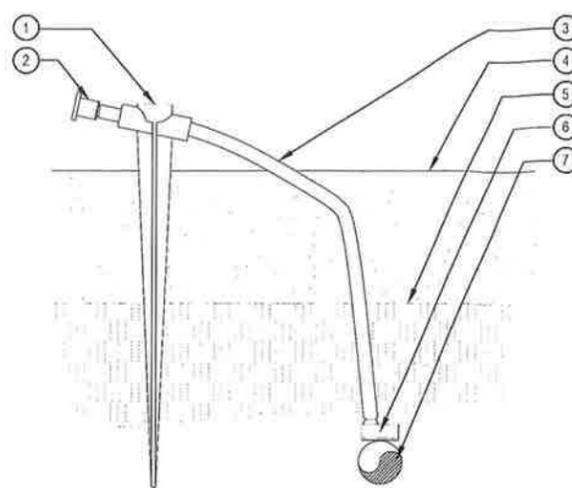


- 1 FINISH GRADE
- 2 POP-UP SPRAY SPRINKLER PER SCHEDULE
- 3 FLEXIBLE SWING JOINT - 18" MAX
- 4 PVC LATERAL PIPE
- 5 PVC SCH. 40 TEE OR ELL, THREADED
- 6 EDGE OF PAVING OR HEADER

NOTE:
 1. AFTER FLUSHING HEADS, REGRADE AND COMPACT AS NEEDED TO RETURN TO FINISH GRADE CONDITION.
 2. SPRINKLERS SHALL BE MIN. 6" FROM ANY WALLS, WALKS, COURTS, AND 12" FROM TURF EDGE.
 3. ADJUST ALL SPRINKLERS HEADS SO THAT NO OVERSPRAY OCCURS ON ANY WALLS, WALKS, COURTS, ETC.
 4. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.
 5. COMPACT SOIL AROUND HEAD TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.

3 POP-UP SPRAY ASSEMBLY

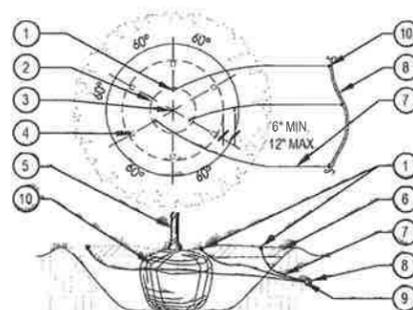
SCALE: NTS



- 1 UNIVERSAL 1/4" TUBING STAKE
- 2 DBC-25 DIFFUSER CAP
- 3 1/4" DISTRIBUTION TUBING: LENGTH NOT TO EXCEED 8'
- 4 TOP OF MULCH
- 5 FINISH GRADE
- 6 PRESSURE COMPENSATING EMITTER PER EMITTER SCHEDULE
- 7 3/4" POLYETHYLENE TUBING DEPTH PER DETAIL

4 SINGLE OUTLET EMITTER (POLYETHYLENE)

SCALE: NTS

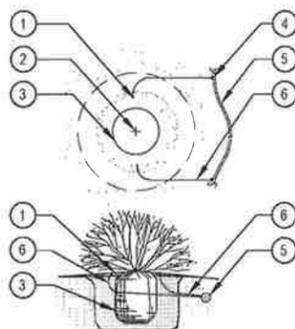


- 1 EMISSION POINT, DIFFUSER CAP W/ DRIP STAKE (TYP.)
- 2 PLANT ROOT BALL (TYP.)
- 3 PLANT CENTER (TYP.)
- 4 SECOND EMISSION POINTS SEE NOTE 3 BELOW
- 5 TREE TRUNK
- 6 MULCH LAYER
- 7 1/4" DISTRIBUTION TUBING (LENGTH NOT TO EXCEED 8')
- 8 3/4" POLYETHYLENE DRIP TUBING
- 9 SINGLE OUTLET EMITTER
- 10 ROOTBALL

NOTE:
 1. MAXIMUM LENGTH OF ONE DISTRIBUTION TUBE SHALL BE 8'.
 2. ALL EMISSION POINTS SHALL BE LOCATED ON UPHILL SIDE OF PLANT MATERIAL. ONE EMISSION POINT SHALL BE DIRECTLY TO PLANT BALL AS INDICATED. ADDITIONAL EMISSION POINTS SHALL BE WITHIN PLANT PIT PERIMETER AS DIRECTED IN THE EMITTER SCHEDULE.
 3. SECOND EMISSION POINTS (IF NEEDED) AS PER THE EMITTER SCHEDULE FOR TREES WITH 3" CALIPER OR GREATER OR CONIFEROUS TREES 10' OR GREATER IN HEIGHT.
 4. THIS IS A WATERING GUIDE ONLY. SITE, SOIL AND PLANT CONDITIONS VARY GREATLY. CONTRACTOR MUST OBSERVE THE PLANT MATERIAL AND MAKE ADJUSTMENTS AS NECESSARY FOR PROPER PLANT WATER REQUIREMENT.

5 TREE EMITTER PLACEMENT

SCALE: NTS

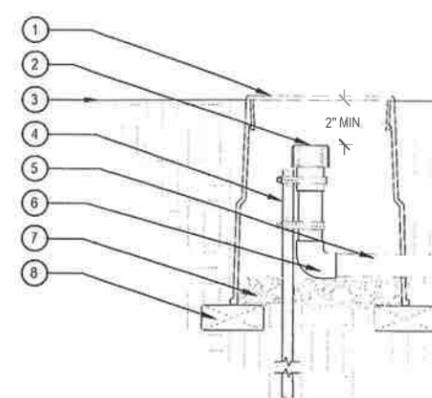


- 1 DIFFUSER CAP W/ DRIP STAKE
- 2 PLANT CENTER
- 3 PLANT ROOTBALL
- 4 SINGLE OUTLET EMITTER
- 5 3/4" POLYETHYLENE DRIP TUBING
- 6 1/4" DISTRIBUTION TUBING (LENGTH NOT TO EXCEED 8')

NOTE:
 1. EMITTERS SHALL BE EQUALLY SPACED AROUND ROOTBALL.
 2. FLUSH ALL LINES THOROUGHLY PRIOR TO EMITTER INSTALLATION.
 3. IF PLANTING ON A 4:1 SLOPE OR STEEPER, INSTALL EMITTERS ON THE UPHILL SIDE OF PLANT.
 4. EMITTERS SHALL BE SELF-FLUSHING PRESSURE COMPENSATING-TYPE UNLESS NOTED OTHERWISE.
 5. DRIP VALVE ZONES (HYDROZONES) ARE DESIGNED TO ACCOUNT FOR DIFFERENCES IN PLANT REQUIREMENTS AND SUN EXPOSURE.
 6. CONTRACTOR SHALL ENSURE HYDROZONES ARE VALVED SEPARATELY AS SHOWN ON PLAN.

6 SINGLE OUTLET EMITTER PLACEMENT

SCALE: NTS



- 1 LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 2 HOSE END SELF FLUSH CAP
- 3 FINISH GRADE
- 4 24" #4 REBAR TO HOLD END CAP IN PLACE W/ (2) STAINLESS STEEL CLAMPS
- 5 POLYETHYLENE LATERAL
- 6 ELBOW COMPRESSION FITTING
- 7 3/4" GRAVEL SUMP, 4" DEPTH
- 8 BRICK (2 REQUIRED MIN.)

NOTE:
 1. COMPACT SOIL AROUND VALVE BOX TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 2. SECURE STAKE TO FLUSH END CAP WITH A MIN. OF TWO S.S. CLAMPS.

7 DRIP FLUSH END CAP

SCALE: NTS

Bella Vista Planned Unit Development (PUD) PLAN

1. **Access:** Access is provided in two locations. The Trinidad Street entrance is a local road entrance with 30' roadway entering and exiting the project. The 37th Street entrance is a local road entrance with 28' roadway entering and exiting the property.
2. **Allowed Use:** The PUD allows for single-family residential uses as a Manufactured Home Park. Uses other than those allowed as home occupations in the Municipal Code, are not allowed by the PUD zoning.
3. **Fencing:** A six (6) foot privacy fence shall be constructed and maintained along the north property line of Bella Vista by the park owner. Should the lots be sold independently at a future date, the owners of lots adjacent to the fence shall be responsible for maintenance of the fence. No other fencing is proposed within the Bella Vista PUD.
4. **Landscaping:** Landscaping layout shall conform to a landscaping plan reviewed and approved by the City as part of the site plan. All common landscaped areas (drainage areas, entry features, perimeter landscaping, sport court) will be owned and maintained by the owner of the Bella Vista community. Landscaping within individual home sites will be maintained by the individual homeowners consistent with leasing requirements set forth by the owners of the Bella Vista community. The owner of the Bella Vista community will install 1 (2" caliper) ornamental/small deciduous tree and 5 (#5 container) evergreen or deciduous shrubs on each lot to be located in such a manner that would not obstruct homes from moving on and off the lots.
5. **Lighting:** Street lights shall be installed in accordance with the attached PUD plan, Exhibit B.
6. **Lot Size Minimum:** The minimum lot size shall be 2580 square feet in size. All manufactured homes are subject to the setback and placements standards described in sections 15 and 19 of this Plan. For larger homes, an amended plat shall be required to combine lots to accommodate these units in compliance with placement and set back standards.
7. **Maintenance:**
 - A. The owner of a home shall be responsible for maintaining the exterior of the home, including but not limited to roofing, siding and skirting, in good condition and shall promptly replace or repair any damage or defects to such exterior. The owner of a home shall be responsible for maintaining the yard or open space within his or her designated home space, including but not limited to keeping such area free of weeds, trash or other violation of the municipal code. Any such violation shall be punishable in accordance with the requirements of the municipal code, as applicable.
 - B. The owner of a park shall be responsible for ensuring that every home within his or her park conforms to the International Property Maintenance Code as adopted and amended in the municipal code. Existence of violations of said code within a park shall be grounds for withholding of permits for replacement homes until such violations are corrected. Documented efforts made by the park owner will be taken into consideration when the City reviews the permit process.
 - C. The owner of a park shall be responsible for maintaining in good condition any and all of the following within his or her park and shall promptly replace or repair any damage or defects to such:
 - 1) Private streets, driveways, guest parking areas and walkways.
 - 2) Landscaping, not within an occupied, designated home space, including that which is located within adjacent right-of-way between streets or sidewalks and the park property line.
 - 3) Fencing around the park or on the adjacent right-of-way.
 - 4) Signage within the park or on the adjacent right-of-way.
 - 5) Lighting within the park.

- 6) Private water and sewer service lines.
- 7) Storm water detention ponds and structures.
- 8) Accessory buildings that are owned by the park owner, whether or not they are within a designated home space.
- 9) The owner of a park shall be responsible for any home space that is not occupied by a home, including keeping such spaces free of weeds, trash or other violations of this Code. Any such violation shall be punishable in accordance with Chapter 1.16 and/or Chapter 1.17 of this Code, as applicable, and shall be grounds for withholding of permits for replacement homes until such violations are corrected.

D. The owner of the Bella Vista community, successors and assigns will own and operate the proposed development and will be responsible for all upkeep and maintenance for areas within the development boundaries. Maintenance adjoining public rights-of-way shall be in accordance with the City of Evans standard procedures. The City of Evans assumes no responsibility in regard to maintaining or upkeep of the lands or utilities within the P.U.D. Development, including water, sewer and storm sewer systems, sidewalks, roadways and irrigation systems. The City of Evans reserves the right to inspect such system at anytime to ascertain compliance with such standards and applicable health codes and regulations.

8. Ownership: All manufactured homes will be either leased from the land owner or will owned by the tenant. Homes will be 2015 or newer from the years 2015 to 2019, and no older than 4 years for all subsequent years of 2020 forward.

9. Parking: All lots will have a minimum of two off-street parking spaces. There are an additional 12 off-street guest parking spaces, as shown on the site plan. Within the guest parking areas, any type of storage (recreational vehicles, boats trailers, campers, and similar vehicles) is prohibited. Long-term parking of automobiles and motorcycles within the visitor parking areas is prohibited. The owner of the land lease community shall be responsible for enforcement of the regulations governing the guest parking areas.

10. Property Management: A property management company will be engaged to manage the property with an on-site manager who will own and therefore reside on the property. This individual will be an employee of the management company. There will be no management office and no HOA. A set of rules and regulations is provided to all new residents.

11. Recreation Facilities: A sport court shall be constructed at time of other on-site improvements and maintained by the property manager, as shown on the site plan approved as Exhibit B to this document.

12. Setbacks: Setbacks for manufactured homes shall be a minimum of five (5) feet on the front and rear, five (5) feet on one side and fifteen (15) feet on the opposite side. Accessory storage shed shall be setback a minimum of five (5) feet.

13. Signage: All signage for the project shall conform to that illustrated in the attached Bella Vista PUD plan, Exhibit B.

14. Spacing of Structures: Details addressing spacing between structures **are shown** on the site plan and described here. Separation between structures shall be as follows:

- A. Homes placed end-to-end shall have a minimum of a ten (10) foot separation.
- B. Homes placed side-by-side shall have a minimum of twenty (20) foot separation.
- C. Homes placed side-to-end shall have a minimum of fifteen-foot separation.
- D. No home shall be located closer than ten (10) feet from any building within the park or from any property line bounding the park. No decks, stairs or other appurtenances shall be located within five (5) feet of any perimeter property line.

- E. Homes including any carports, decks, awnings or other additions non-removable tow hitches shall be set back at least five (5) feet from private streets and roadways, and twenty-five (25) feet from public rights-of-way.
- F. Carports shall maintain a five (5) foot separation from adjacent structures.

20. Storage Units: One storage unit or shed may be placed on each home site to address storage of residentially permitted uses. Storage sheds must be a minimum of 10’ from the Bella Vista property line and 5’ from adjacent structure. Accessory structures shall only be permitted in accordance with Chapter 19.48 of the Evans Municipal Code. No storage shall be permitted underneath any home unless properly designed and enclosed with skirting. No flammable, combustible or hazardous material shall be stored underneath any home.

22. Utilities

- A. **Potable Water System:** The water system shall be designed by a Professional Engineer registered in the State of Colorado and installed in accordance with such plans as approved by the City of Evans and must be maintained as per the City of Evans standards. The City of Evans reserves the right to inspect such system at any time to ascertain compliance with such standards and applicable health codes and regulations.
- B. **Sanitary Sewer System:** The sanitary sewer system shall be designed by a Professional Engineer registered in the State of Colorado and installed in accordance with such plans as approved by the City of Evans and must be maintained as per the City of Evans standards. The City of Evans reserves the right to inspect such system at any time to ascertain compliance with such standards and applicable health codes and regulations.
- C. **Other Utilities:** Electric, Gas, Cable T.V., Telephone, and similar utilities shall be installed in accordance with applicable standards and regulations.

LIST OF EXHIBITS

- A. Legal Description
- B. Bella Vista PUD Plan Set
- C. Graphic Representations of Manufactured Homes

BELLA VISTA SUBDIVISION
 A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 20,
 TOWNSHIP 5 NORTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN
 CITY OF EVANS, COUNTY OF WELD, STATE OF COLORADO
 5.9242 ACRES – 52 LOTS / 9 TRACTS
 FP _____



VICINITY MAP

SCALE: 1"=600'

SHEET INDEX

- 1 COVER SHEET
- 2 OVERALL BOUNDARY
- 3 FINAL PLAT LAYOUT

CERTIFICATE OF DEDICATION AND OWNERSHIP

KNOW BY ALL MEN THESE PRESENTS THAT THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, OR LIEN HOLDERS OF CERTAIN LANDS IN THE TOWN OF ERIE, COUNTY OF WELD, COLORADO, DESCRIBED AS FOLLOWS:

LOTS 43, 44, 45, 46 AND 47 IN THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 5 NORTH, RANGE 65 WEST OF THE 6TH P.M., AS SUBDIVIDED BY THE ST. LOUIS WESTERN COLONY, COUNTY OF WELD, STATE OF COLORADO,

TOGETHER WITH ALL THAT PART OF VACATED TERRYALL STREET ADJACENT TO LOTS 43 AND 47, AS VACATED BY ORDINANCE NO. 132 RECORDED FEBRUARY 15, 1961 IN BOOK 1577 AT PAGE 512 AND RE-RECORDED FEBRUARY 23, 1961 IN BOOK 1578 AT PAGE 269.

AND

OUTLOT A, HEATHERWAY SUBDIVISION, CITY OF EVANS, COUNTY OF WELD, STATE OF COLORADO.

AND

THE EAST 10 FEET OF TRINIDAD STREET ADJOINING LOTS 45, 46 AND 47 AND OUTLOT A AS VACATED BY ORDINANCE 1160-99 ON FEBRUARY 23, 2000 (AS SET FORTH ON DEED RECORDED SEPTEMBER 26, 2002 AT RECEPTION NO. 2990813).

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, TRACTS, STREETS AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND SUBDIVISION OF BELLA VISTA. THE STREETS AND TRACTS SHOWN HEREON ARE PRIVATELY OWNED, TO BE MAINTAINED BY THE OWNER. EASEMENTS SHOWN HEREON ARE DEDICATED AND CONVEYED TO

OWNER SIGNATURE

3610 TRINIDAD LLC

BY: _____ DATE _____

TITLE: _____

STATE OF COLORADO)
) SS.
 COUNTY OF _____)

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ BY _____ AS _____

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

BASIS OF BEARINGS

THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 5 NORTH, RANGE 65 WEST OF THE 6TH P.M.: ASSUMED TO BEAR S89°34'14"W, WITH ALL OTHER BEARINGS RELATIVE THERETO, BOTH ENDS OF SAID LINE ARE MONUMENTED AS SHOWN HEREON.

NOTES

1. NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUE 18-4-508 OF THE COLORADO REVISED STATUTES.
3. THE LINEAL UNIT USED IN THE PREPARATION OF THIS PLAT IS THE U.S. SURVEY FOOT AS DEFINED BY THE UNITED STATES DEPARTMENT OF COMMERCE, NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY.
4. ACCORDING TO FLOOD INSURANCE RATE MAP 08123C1543E, EFFECTIVE DATE JANUARY 20, 2016, SUBJECT PROPERTY LIES PARTIALLY IN ZONE X "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD", AND PARTIALLY IN ZONE X "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", AS SHOWN.
5. (NOTE: ALL LOTS, TRACTS AND PRIVATE ROADS HAVE A DRAINAGE EASEMENT FOR DEVELOPMENT...) WE COULD NOT FIND AN EXAMPLE OF SUCH NOTE ON ANY OF THE WELD COUNTY PLATS WE HAVE. COULD YOU PROVIDE A STANDARD NOTE, ALSO SPECIFY WHETHER EASEMENT ARE BLANKET OR OF SPECIFIC LOCATION / SIZE.
6. TRACT A IS DEDICATED BY THIS PLAT AS A PRIVATE RIGHT-OF-WAY. A NON-EXCLUSIVE BLANKET EMERGENCY ACCESS EASEMENT IS GRANTED HERewith OVER AND ACROSS ALL OF SAID TRACT A.
7. ALL BLOCK CORNER RIGHT-OF-WAY RADII ARE 20.00 FOOT UNLESS SHOWN OTHERWISE.
8. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY EMK CONSULTANTS, INC. TO DETERMINE TITLE OR EASEMENTS OF RECORD. RESEARCH FOR THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH CRS 38-51-106 AND THE RULES OF PROCEDURE AND BOARD POLICY STATEMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS, SPECIFICALLY THOSE BOARD RULES AND POLICY STATEMENTS RELATING TO THE DEPICTION OF EASEMENTS AND RIGHTS OF WAY ON SUBDIVISION PLATS. FOR ALL INFORMATION REGARDING TITLE AND EASEMENTS OR RIGHTS-OF-WAY OF RECORD AND CIVIL COURT ACTIONS OF RECORD, EMK CONSULTANTS, INC. RELIED UPON COMMITMENT FOR TITLE INSURANCE FILE NO. 01330-59222-AMENDMENT NO. C-2, EFFECTIVE DATE AUGUST 18, 2015, AT 8:00 A.M., PREPARED BY STEWART TITLE GUARANTY COMPANY.

TITLE VERIFICATION CERTIFICATE

WE, STEWART TITLE GUARANTY COMPANY, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE OF ALL LAND PLATTED HEREON AND THAT TITLE TO SUCH LAND IS IN THE DEDICATOR(S) FREE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES, EXCEPT AS FOLLOWS:

STEWART TITLE GUARANTY COMPANY

BY: _____ DATE _____

TITLE: _____

STATE OF COLORADO)
) SS.
 COUNTY OF _____)

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ BY _____ AS _____

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

SURVEYOR'S CERTIFICATE

I, STEPHEN H. HARDING, PLS #29040, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON JANUARY 23, 2016, BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (SECOND ORDER); AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND.



STEPHEN H. HARDING, PLS #29040 _____ DATE _____
 FOR AND ON BEHALF OF
 EMK CONSULTANTS, INC.

CLERK & RECORDER CERTIFICATE

STATE OF COLORADO)
) SS.
 COUNTY OF WELD)

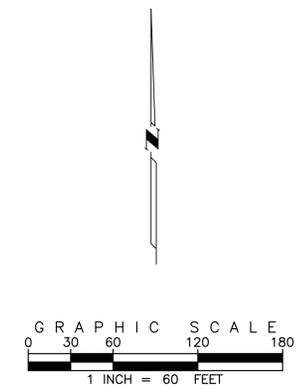
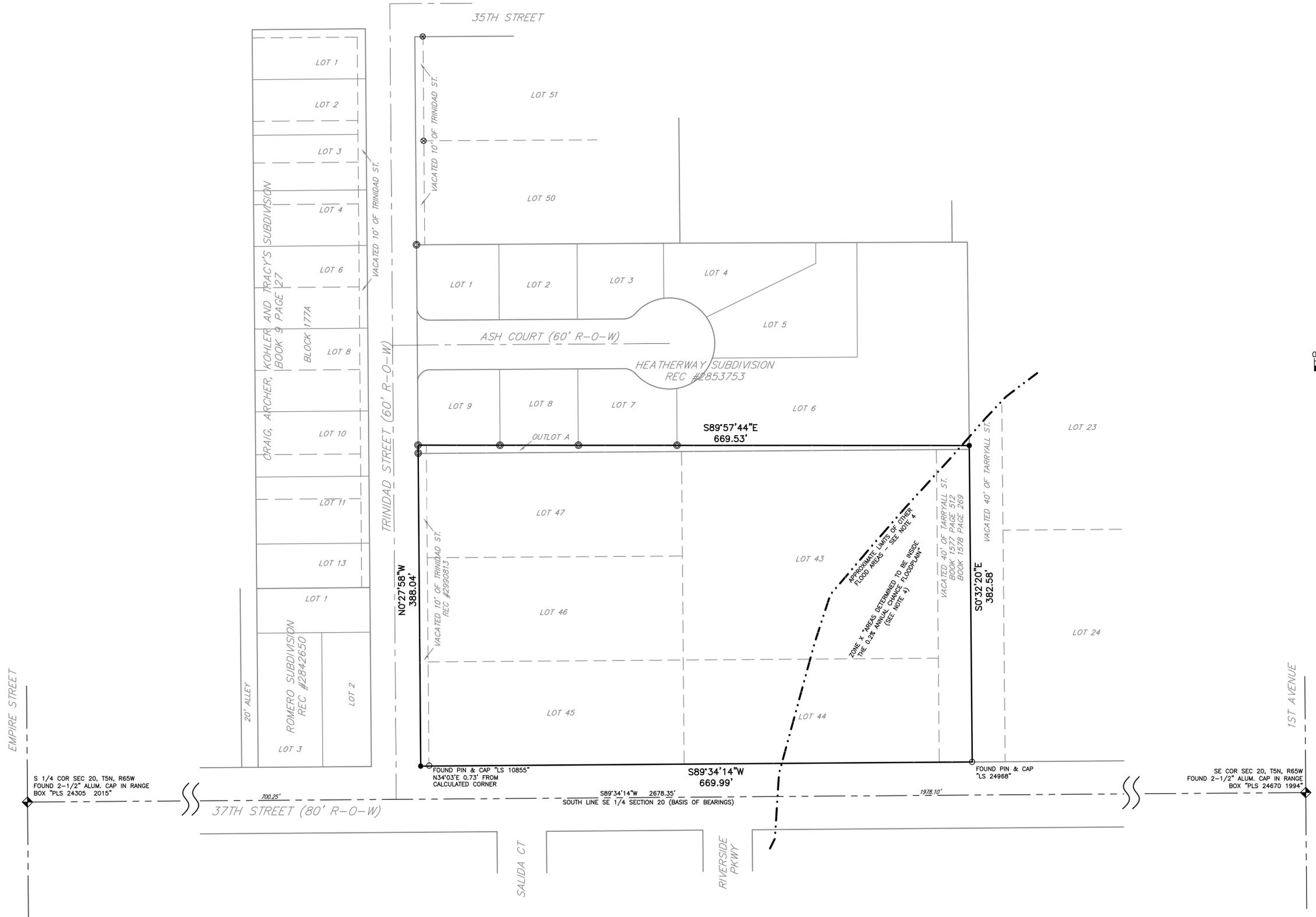
I HEREBY CERTIFY THAT THIS PLAT WAS FILED IN MY OFFICE ON THIS _____ DAY OF _____, 20____ A.D. AND WAS RECORDED AT RECEPTION NUMBER _____

_____ COUNTY CLERK AND RECORDER



JOB NO. 12928
BELLA VISTA SUBDIVISION
 DATE PREPARED: FEBRUARY 01, 2016

BELLA VISTA SUBDIVISION
 A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 20,
 TOWNSHIP 5 NORTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN
 CITY OF EVANS, COUNTY OF WELD, STATE OF COLORADO
 5.9242 ACRES - 52 LOTS / 9 TRACTS
 FP _____

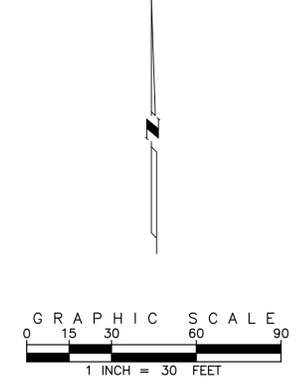
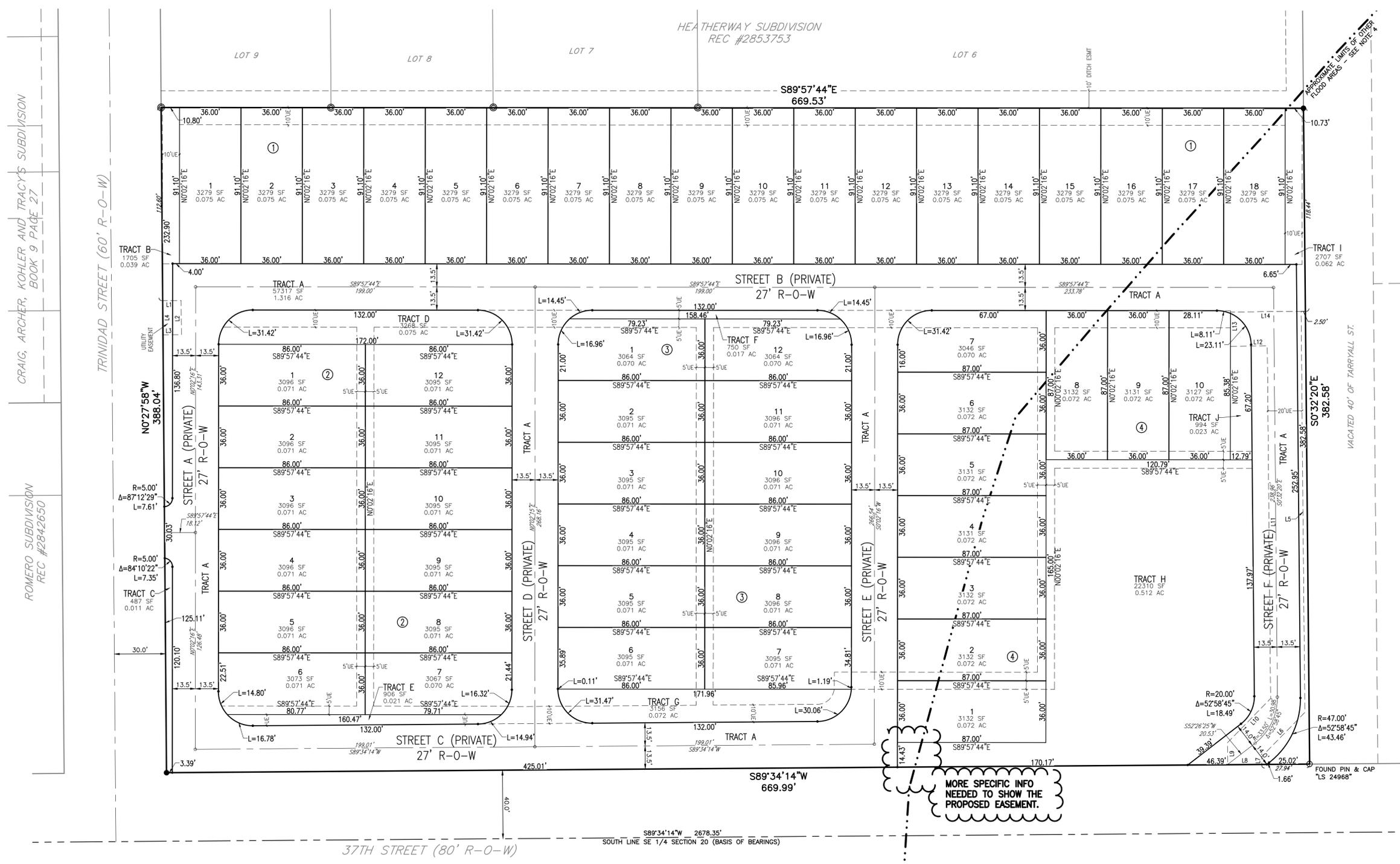


- LEGEND:**
- - SET 18" #5 REBAR WITH 1-1/2" ALUM. CAP "LS 29040"
 - ⊗ - FOUND PIN AND CAP "LS 4392"
 - ⊙ - FOUND PIN AND CAP "LS 7242"
 - - FOUND PIN AND CAP AS DESCRIBED
 - UTILITY EASEMENT

EMK EMK CONSULTANTS, INC.
 LAND DEVELOPMENT
 ENGINEERING & SURVEYING
 7006 SOUTH ALTON WAY, BLDG. F
 CENTENNIAL, COLORADO 80112-2019
 (303)694-1520 www.EMKC.com

JOB NO. 12928
BELLA VISTA SUBDIVISION
 DATE PREPARED: FEBRUARY 01, 2016

BELLA VISTA SUBDIVISION
 A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 20,
 TOWNSHIP 5 NORTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN
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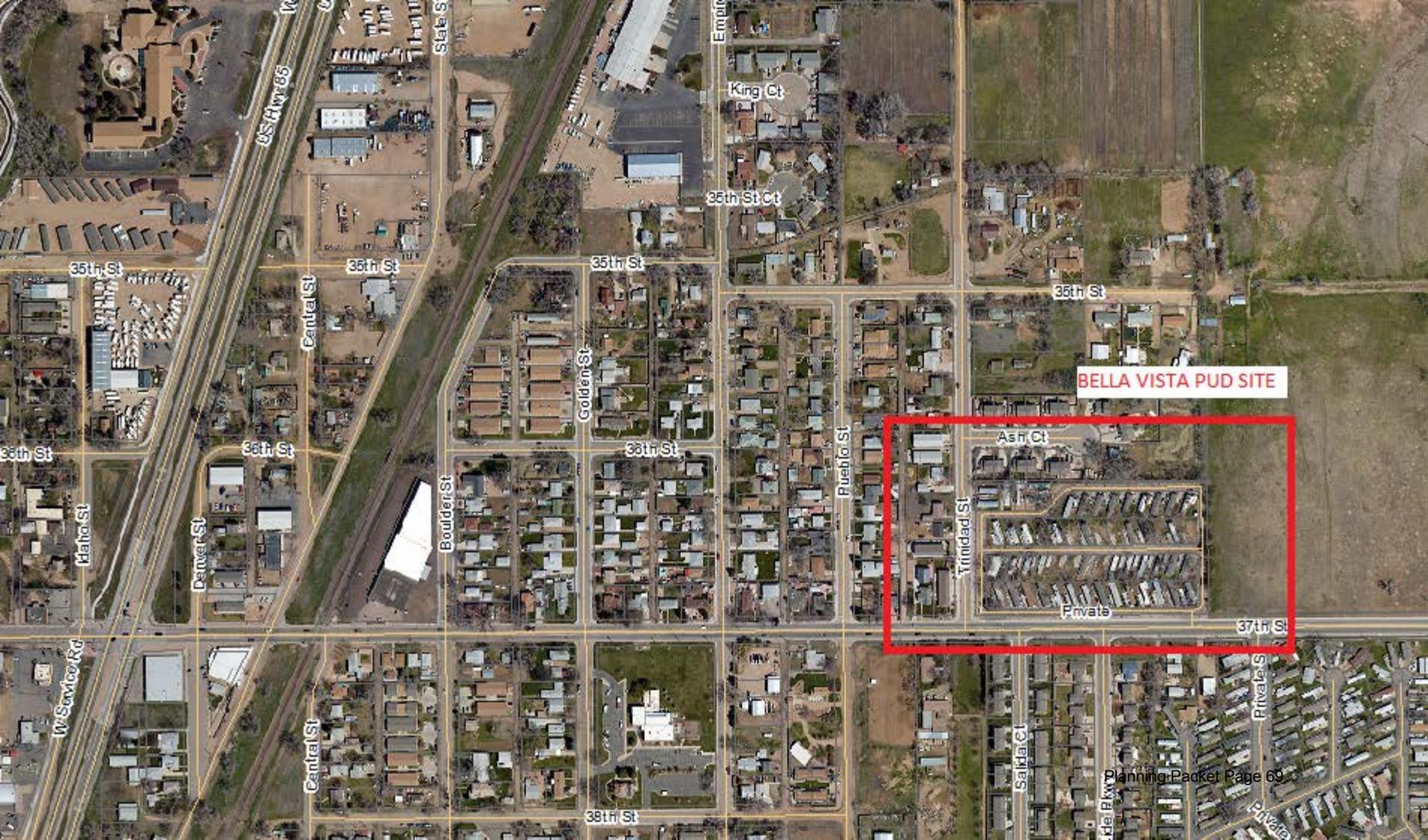
LINE #	DIRECTION	LENGTH
L1	S89°32'02"W	10.80'
L2	N07°27'58"W	20.00'
L3	N89°32'02"E	10.80'
L4	S07°27'58"E	20.00'
L5	S03°32'20"E	233.99'
L6	S44°27'40"W	36.01'
L7	S04°47'30"E	4.63'
L8	S89°34'14"W	20.00'
L9	N04°47'30"W	12.84'
L10	N44°27'40"E	36.06'
L11	N03°32'20"W	205.71'
L12	S89°27'40"W	21.62'
L13	N07°02'16"E	20.00'
L14	N89°27'40"E	41.42'

- LEGEND:**
- - SET 18" #5 REBAR WITH 1-1/2" ALUM. CAP "LS 29040"
 - ⊗ - FOUND PIN AND CAP "LS 4392"
 - ⊙ - FOUND PIN AND CAP "LS 7242"
 - - FOUND PIN AND CAP AS DESCRIBED
 - UE - UTILITY EASEMENT

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BELLA VISTA SUBDIVISION
 DATE PREPARED: FEBRUARY 01, 2016

JOB NO. 12928



BELLA VISTA PUD SITE



Planning Commission

Regular Meeting

6:00 p.m., Tuesday,

March 22, 2016

Evans Community Complex – 1100 37th Street

City Council Chambers

Planning and Zoning packets are prepared several days prior to the meetings. This information is reviewed and studied by the Commission, eliminating lengthy discussions to gain basic understanding. Timely action and/or short discussion on agenda items do not reflect lack of thought or analysis. An informational packet is available for public inspection on the website at www.evanscolorado.gov

VINTAGE VILLAS



PLANNING COMMISSION – MARCH 22TH, 2016

AGENDA ITEM: Vintage Villas P.U.D. Amendment

PREPARED BY: Fred Starr, Community Development Director

ACTION: Review for recommendation to City Council

REVIEWED BY: Fred Starr, Community Development Director

CITY COUNCIL DATE: April 5, 2016

SITE INFORMATION	
Location:	The site is generally located East of 65 th Avenue and North of 37 th Street at the SE Corner of the intersection of Chardonnay Street and Borrossa Street. (See attached Vicinity Map)
Applicant:	Vintage Villas Homeowners Association , Rick Hertzke as President
Existing Land Use:	Single Family Residential Planned Unit Development
Proposed Land Use:	Single Family Residential Planned Unit Development
Surrounding Land Uses:	North Single Family Residential, Grapevine Hollow Subdivision
	South Single Family Residential, Grapevine Hollow Subdivision
	East Single Family Residential, Grapevine Hollow Subdivision
	West Single Family Residential, Grapevine Hollow Subdivision
Existing Zoning:	P.U.D. - Vintage Villas Planned Unit Development
Proposed Zoning:	P.U.D. - Vintage Villas Planned Unit Development
Surrounding Zoning:	North R-1, Single Family Residential
	South R-2, Two Family Residential
	East R-1, Single Family Residential
	West R-2, Two Family Residential
Future Land Use Designation:	P.U.D. - Vintage Villas Planned Unit Development - Residential



PROJECT DESCRIPTION

The applicant is requesting an Amendment of the Vintage Villas Planned Unit Development Plat for the purpose of reducing the number of platted lots from the originally approved 52 lots to 49 lots. This replatting will allow for a reconfiguration of lots to provide more separation between lots and reduce the total number of platted lots by three.

APPLICABLE PROVISIONS

1. An Amendment to an existing Planned Unit Development requires a recommendation by the Planning Commission and Approval by the City Council. Since the request is for a modification of the number and location of existing platted lots and outlots, the request is being processed as a Final Plat.
2. Since this request does not require modifications to existing public facilities or the requirement for additional public facilities, there is no requirement for engineering review or a development agreement.
3. The site is zoned PUD – Vintage Villas Planned Unit Development. There is no proposed amended to any other provisions of the Vintage Villas Planned Unit Development standards and guidelines. The purpose of this request is to reduce the overall number of lots and in doing so move some lot locations slightly to provide more space between platted lots.
4. 2010 Comprehensive Plan: The proposed amendment is in conformance with the Goals/Objectives and Recommendation of the Comprehensive Plan.
5. Since this request is for a reduction in the number of platted lots and does not require any additional public infrastructure or modification to existing infrastructure, the City Engineer and Public Works Department have no comments regarding this request.

SUMMARY

This is a request to amend the original Vintage Villas P.U.D. Subdivision Final Plat which was approved by the City of Evans Planning Commission on July 8, 2003 and by the City Council on August 5, 2003.

STAFF RECOMMENDATION

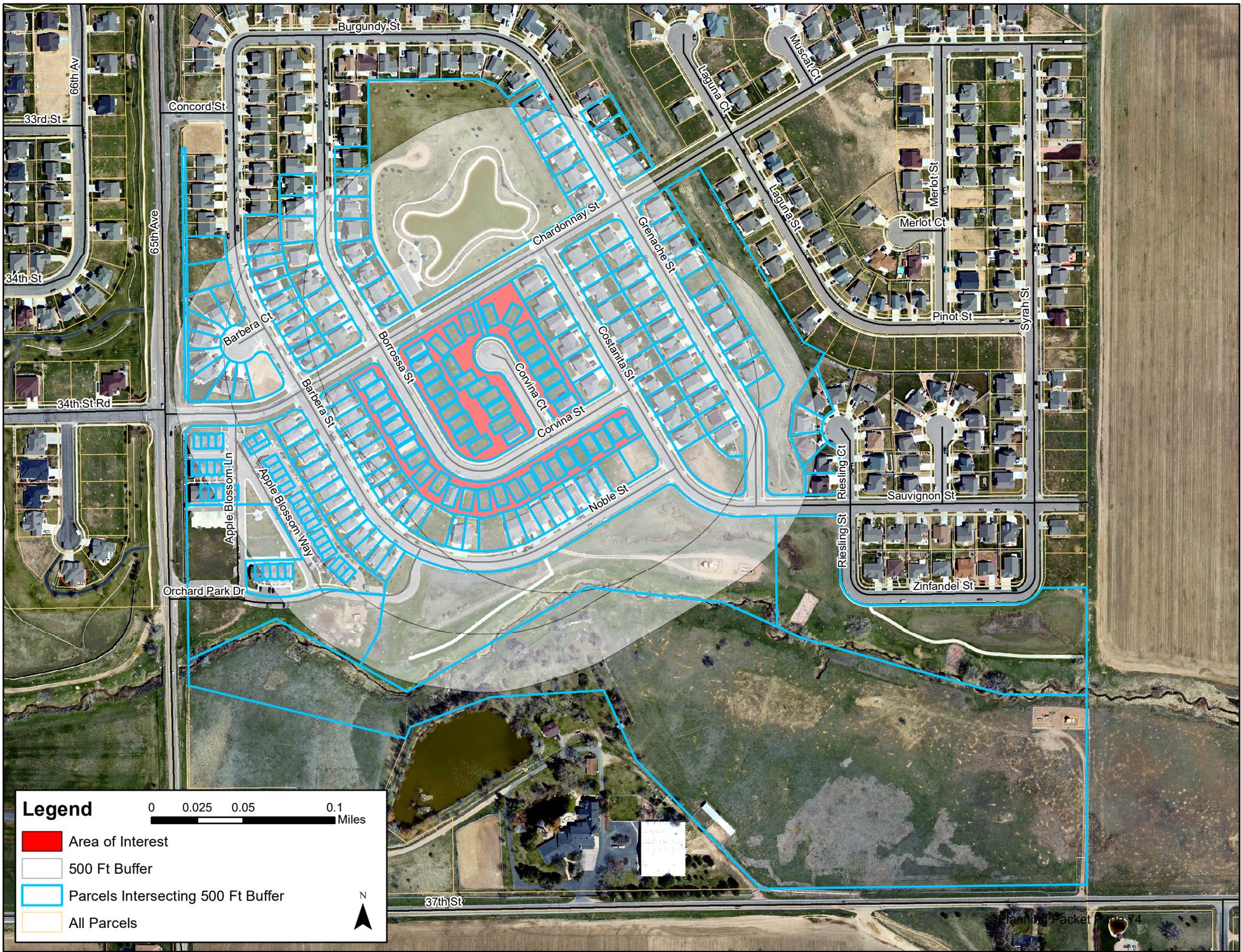
Staff recommends approval of the request to amend the Vintage Villas P.U.D. Subdivision Plat as proposed.

DRAFT MOTIONS:

Motion to Approve: “I move to approve the Vintage Villas P.U.D. Subdivision Replat #2 as proposed.”

Motion to Deny: “I move to deny the Vintage Villas P.U.D. Subdivision Replat #2 as proposed.”

Attachments: Vicinity Map; Vintage Villas P.U.D. Subdivision Replat #2



Legend

0 0.025 0.05 0.1 Miles

- Area of Interest
- 500 Ft Buffer
- Parcels Intersecting 500 Ft Buffer
- All Parcels

N

VINTAGE VILLAS P.U.D. SUBDIVISION REPLAT #2

A Replat of Lots 16 through 19, 24 through 28, and 30 through 33 of Block 9, Lots 11 through 16 and Lots 18 and 19 of Block 10, Lots 20 through 27 of Block 11, and Outlots A, B, C, and 4 of Vintage Villas P.U.D. Subdivision Replat #1, City of Evans, County of Weld, State of Colorado.

(For Recording Purposes: Part of the Southeast Quarter of Section 21, Township 5 North, Range 66 West of the 6th P.M.)

OWNER'S DEDICATION AND APPROVAL

Know all men by these presents that I/we, being the owner(s), mortgage or lien holder of certain land in Evans, Colorado, described as follows:

A parcel of land, being part of Vintage Villas P.U.D. Subdivision Replat #1 as recorded December 9, 2005 as Reception No. 3346329 of the Records of the Weld County Clerk and Recorder, located in the Southeast Quarter (SE1/4) of Section Twenty-one (21) Township Five North (T.5N.), Range Sixty-six West (R.66W.) of the Sixth Principal Meridian (6th P.M.), City of Evans, County of Weld, State of Colorado and being more particularly described as follows:

Lots 16 through 19, 24 through 28, and 30 through 33 of Block 9, Lots 11 through 16 and Lots 18 and 19 of Block 10, Lots 20 through 27 of Block 11, and Outlots A, B, C, and 4 of Vintage Villas P.U.D. Subdivision Replat #1

Containing 4.418 acres more or less: have by these presents laid out, platted and subdivided the same into lots and blocks, as shown on this plat, under the name and style of VINTAGE VILLAS P.U.D. SUBDIVISION REPLAT #2, and do hereby dedicate to the public all ways and other public rights-of-way and easements for purposes shown hereon.

Executed this _____ Day of _____ A.D. 20____.

OWNER
Hertzke Holsteins, LTD

By: Rick Hertzke
As: General Partner

NOTARIAL CERTIFICATE

STATE OF _____)
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 20____,

by _____ as _____

Witness my hand and official seal. (SEAL)

My commission expires _____

Notary Public

OWNER
Baessler Homes, LLLP

By: Jamie Baessler
As: General Partner

NOTARIAL CERTIFICATE

STATE OF _____)
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 20____,

by _____ as _____

Witness my hand and official seal. (SEAL)

My commission expires _____

Notary Public

OWNER
Trinity Assets, INC

By: Jamie Baessler
As: President

NOTARIAL CERTIFICATE

STATE OF _____)
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 20____,

by _____ as _____

Witness my hand and official seal. (SEAL)

My commission expires _____

Notary Public

OWNER
Vintage Villas Homeowners Association

By: Rick Hertzke
As: President

NOTARIAL CERTIFICATE

STATE OF _____)
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 20____,

by _____ as _____

Witness my hand and official seal. (SEAL)

My commission expires _____

Notary Public

BASIS OF BEARINGS AND LINEAL UNIT DEFINITION

Assuming the Northwesterly lines of Blocks 10 and 11 of Vintage Villas P.U.D. Subdivision Replat #1, as bearing North 59°12'30" East being a Grid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/2011, a distance of 365.00 feet with all other bearings contained herein relative thereto.

The lineal dimensions as contained herein are based upon the "U.S. Survey Foot."

TITLE COMMITMENT NOTE

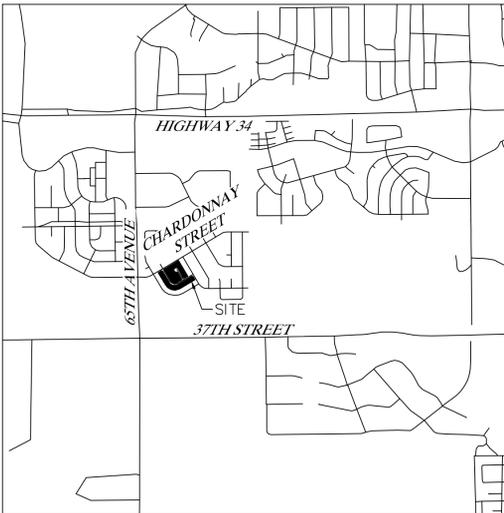
This survey does not constitute a title search by King Surveyors to determine ownership or easements of record. For all information regarding easements, rights-of-way and title of records, King Surveyors relied upon Title Commitment Number F0225131845, dated May 28, 2015 as prepared by Land Title Guarantee Company to delineate the aforesaid information.

SURVEYING STATEMENT

I, Steven Parks, a Licensed Professional Land Surveyor in the State of Colorado, do hereby certify that the survey represented by this plat was made under my supervision and the monuments shown herein actually exist and this plat accurately represents said survey.

PRELIMINARY

Steven Parks - On Behalf of King Surveyors
Colorado Licensed Professional
Land Surveyor #38348



VICINITY MAP
(NOT TO SCALE)

PLANNING COMMISSION CERTIFICATE

This plat is approved by the _____ Planning Commission this _____ day of _____, A.D. _____

Chairman

CERTIFICATE OF APPROVAL BY THE CITY COUNCIL

This plat is hereby approved by the City Council of Evans, Colorado, this _____ day of _____, A.D. _____

Mayor

Attest:

City Clerk

VACATION STATEMENT

Know all men by these presents that we the undersigned, being the sole owner(s) of the land described herein, and as shown on the attached map do hereby vacate all previous platting of the above described parcel of land.

OUTLOT OWNERSHIP AND MAINTENANCE NOTES

1. Outlots will be owned and maintained by the Homeowner's Association.
2. Outlots A, B and C are hereby dedicated as Access and Utility Easements.

NOTICE

According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon. (13-80-105 C.R.S. 2012)

LINE	BEARING	LENGTH
L1	S30°47'30"E	63.00'
L2	S59°12'30"W	30.00'
L3	N30°47'30"W	63.00'
L4	N59°12'30"E	30.00'
L5	S30°47'30"E	65.00'
L6	S59°12'30"W	30.00'
L7	N30°47'30"W	65.00'
L8	N59°12'30"E	30.00'
L9	S30°47'30"E	63.00'
L10	S59°12'30"W	30.00'
L11	N30°47'30"W	63.00'
L12	N59°12'30"E	30.00'
L13	S30°47'30"E	65.00'
L14	S59°12'30"W	30.00'
L15	N30°47'30"W	65.00'
L16	N59°12'30"E	30.00'
L17	S30°47'21"E	62.00'
L18	S59°12'39"W	35.00'
L19	N30°47'21"W	62.00'
L20	N59°12'39"E	35.00'

LINE	BEARING	LENGTH
L21	S17°21'38"E	62.00'
L22	S72°38'22"W	35.00'
L23	N17°21'38"W	62.00'
L24	N72°38'22"E	35.00'
L25	S08°28'51"E	60.00'
L26	S81°31'09"W	40.00'
L27	N08°28'51"W	60.00'
L28	N81°31'09"E	40.00'
L29	S08°02'43"W	65.00'
L30	N81°57'17"W	40.00'
L31	N08°02'43"E	65.00'
L32	S81°57'17"E	40.00'
L33	S34°54'24"W	65.00'
L34	N55°05'36"W	40.00'
L35	N34°54'24"E	65.00'
L36	S55°05'36"E	40.00'
L37	S53°16'02"W	60.00'
L38	N36°43'58"W	40.00'
L39	N53°16'02"E	60.00'
L40	S36°43'58"E	40.00'

LINE	BEARING	LENGTH
L41	S59°12'30"W	60.00'
L42	N30°47'30"W	40.00'
L43	N59°12'30"E	60.00'
L44	S30°47'30"E	40.00'
L45	S59°12'42"W	65.00'
L46	N30°47'21"W	30.00'
L47	N59°12'42"E	65.00'
L48	S30°47'21"E	30.00'
L49	S59°12'42"W	63.00'
L50	N30°47'21"W	30.00'
L51	N59°12'42"E	63.00'
L52	S30°47'21"E	30.00'
L53	S59°12'42"W	65.00'
L54	N30°47'21"W	30.00'
L55	N59°12'42"E	65.00'
L56	S30°47'21"E	30.00'
L57	S59°12'42"W	63.00'
L58	N30°47'30"W	30.00'
L59	N59°12'42"E	63.00'
L60	S30°47'30"E	30.00'

LINE	BEARING	LENGTH
L61	S59°12'42"W	65.00'
L62	N30°47'18"W	30.00'
L63	N59°12'42"E	65.00'
L64	S30°47'18"E	30.00'
L65	S59°12'30"W	62.00'
L66	N30°47'30"W	30.00'
L67	N59°12'30"E	62.00'
L68	S30°47'30"E	30.00'
L69	S31°48'56"W	62.00'
L70	N58°11'04"W	30.00'
L71	N31°48'56"E	62.00'
L72	S58°11'04"E	30.00'
L73	S02°14'03"W	62.00'
L74	N87°45'57"W	30.00'
L75	N02°14'03"E	62.00'
L76	S87°45'57"E	30.00'
L77	S30°47'30"E	62.00'
L78	S59°12'30"W	30.00'
L79	N30°47'30"W	62.00'
L80	N59°12'30"E	30.00'

CURVE	LENGTH	RADIUS	DELTA	CHORD	CH BEARING
C1	39.28'	25.00'	90°00'54"	35.36'	N75°47'30"W
C2	251.32'	160.00'	89°59'52"	226.27'	S75°47'30"E
C3	39.28'	25.00'	90°00'54"	35.36'	N75°47'30"W
C4	39.28'	25.00'	90°00'54"	35.36'	S75°47'30"E
C5	67.36'	55.00'	70°10'11"	63.23'	N65°52'38"W
C6	15.04'	55.00'	15°40'18"	15.00'	S71°11'59"W
C7	111.80'	55.00'	116°27'54"	93.52'	S05°08'04"W
C8	43.85'	55.00'	45°40'25"	42.69'	S75°55'53"E
C9	238.05'	55.00'	247°58'34"	91.21'	S25°13'11"W
C10	29.66'	25.00'	67°58'24"	27.95'	N64°46'46"W
C11	39.28'	25.00'	90°00'54"	35.36'	N14°12'30"E
C12	157.08'	100.00'	89°59'56"	141.42'	S75°47'30"E
C13	39.28'	25.00'	90°00'54"	35.36'	S14°12'30"W

LINE	BEARING	LENGTH
L81	S30°47'30"E	62.00'
L82	S59°12'30"W	30.00'
L83	N30°47'30"W	62.00'
L84	N59°12'30"E	30.00'
L85	S59°23'54"W	53.00'
L86	N30°36'06"W	43.00'
L87	N59°23'54"E	53.00'
L88	S30°36'06"E	43.00'
L89	S59°23'54"W	70.00'
L90	N30°36'06"W	40.00'
L91	N59°23'54"E	54.00'
L92	S30°36'06"E	18.00'
L93	S59°12'22"W	68.00'
L94	N30°47'38"W	30.00'
L95	N59°12'22"E	68.00'
L96	S30°47'38"E	30.00'
L97	S59°12'22"W	62.00'
L98	N30°47'38"W	30.00'
L99	N59°12'22"E	62.00'
L100	S30°47'38"E	30.00'

LINE	BEARING	LENGTH
L101	S59°12'22"W	68.00'
L102	N30°47'38"W	30.00'
L103	N59°12'22"E	68.00'
L104	S30°47'38"E	30.00'
L105	N70°03'14"E	15.96'
L106	S77°01'48"E	21.69'
L107	S68°30'59"W	12.33'
L108	S30°47'30"E	15.00'
L109	S47°55'43"W	10.20'
L110	S30°47'30"E	15.01'
L111	S70°29'18"W	10.20'
L112	S30°47'30"E	15.00'
L113	N41°41'46"W	22.40'
L114	S19°28'58"W	25.03'
L115	N15°51'29"W	23.76'
L116	S49°02'34"E	17.63'
L117	N64°37'53"E	10.35'
L118	S06°34'57"W	24.57'
L119	S52°38'34"E	31.73'
L120	S70°57'06"W	34.11'

LINE	BEARING	LENGTH
L121	N49°50'36"W	10.24'
L122	N21°04'15"E	19.58'
L123	S61°06'00"W	23.07'
L124	S86°05'47"E	21.00'
L125	S84°02'51"W	26.52'
L126	N42°58'46"E	16.60'
L127	S01°24'20"E	40.75'
L128	S19°28'30"E	10.20'
L129	N59°12'30"E	15.00'
L130	S42°05'46"E	10.20'
L131	N59°12'30"E	15.00'
L132	S19°29'49"E	10.20'
L133	N59°12'30"E	15.00'
L134	S42°07'24"E	10.20'
L135	S88°00'08"W	22.82'
L136	S61°47'16"W	22.02'
L137	S14°04'48"W	14.11'
L138	S59°24'10"W	12.69'
L139	S02°00'04"E	34.57'
L140	N84°27'32"W	35.40'

LINE	BEARING	LENGTH
L141	N07°00'40"W	66.47'
L142	S41°12'47"E	26.24'
L143	N33°50'30"E	28.79'
L144	N89°10'49"E	51.65'
L145	N59°12'30"E	10.00'
L146	N36°54'19"E	26.27'
L147	S73°32'24"E	13.66'
L148	S50°28'32"W	44.57'
L149	S19°14'08"W	26.10'
L150	S30°47'23"E	10.00'
L151	N59°12'30"E	20.00'
L152	S19°28'13"E	10.20'
L153	N59°12'30"E	22.00'
L154	N59°23'54"E	16.00'
L155	S30°36'06"E	22.00'

DATE: 3/9/2016
FILE NAME: 2015654SUB
SCALE: N/A
DRAWN BY: CDL
CHECKED BY: SIP

KING SURVEYORS
650 E. Garden Drive | Windsor, Colorado 80550
phone: (970) 686-5011 | fax: (970) 686-5821

DATE: 2-16-16
REVISED: EWL

VINTAGE VILLAS P.U.D. SUB. REPLAT #2
FOR
BAESSLER HOMES
3780 WEST 10TH STREET, SUITE 200
GREELEY, CO 80634

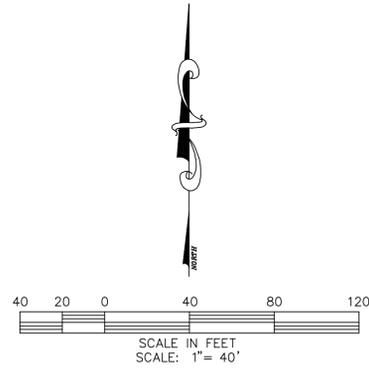
PROJECT #: 2015654

1
SHEET 1 OF 2

VINTAGE VILLAS P.U.D. SUBDIVISION REPLAT #2

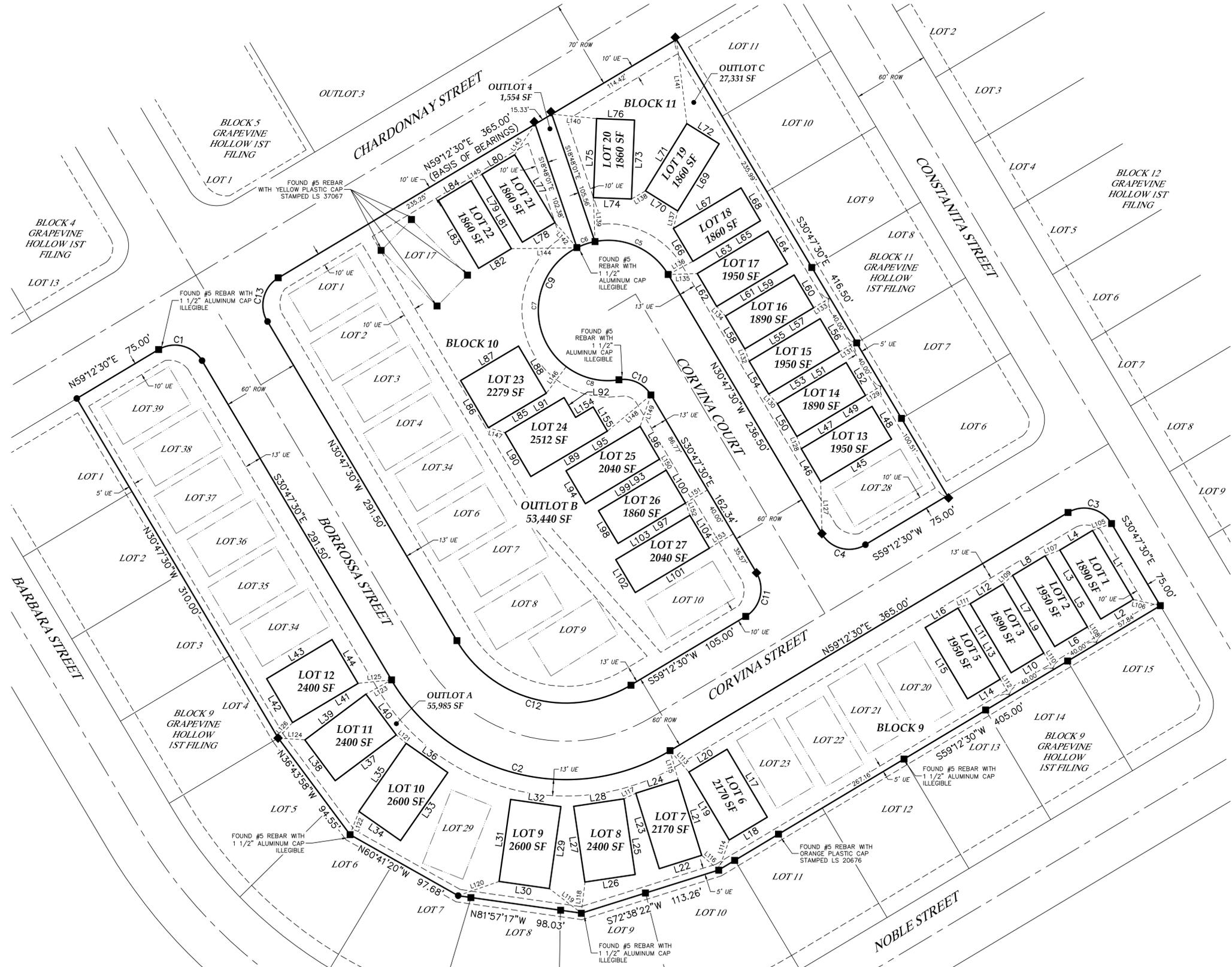
A Replat of Lots 16 through 19, 24 through 28, and 30 through 33 of Block 9, Lots 11 through 16 and Lots 18 and 19 of Block 10, Lots 20 through 27 of Block 11, and Outlots A, B, C, and 4 of Vintage Villas P.U.D. Subdivision Replat #1, City of Evans, County of Weld, State of Colorado.

(For Recording Purposes: Part of the Southeast Quarter of Section 21, Township 5 North, Range 66 West of the 6th P.M.)



LEGEND

- EASEMENT LINE
- - - CENTERLINE
- BOUNDARY LINE
- LOT PLATTED BY VINTAGE VILLAS P.U.D. SUB. REPLAT #1 NOT A PART OF THIS PLAT
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP STAMPED LS 28285 OR AS DESCRIBED
- SET 24" OF #4 REBAR WITH A RED PLASTIC CAP STAMPED KS, LS 38348
- ◆ SET MAG NAIL & BRASS TAG LS 38348-2" WITNESS CORNER
- UE UTILITY EASEMENT PER RECEIPTION NO. 3346328



PRELIMINARY

Steven Parks - On Behalf Of King Surveyors
Colorado Licensed Professional
Land Surveyor #38348

DATE:	3/9/2016
FILE NAME:	2015654SUB
SCALE:	1"=40'
DRAWN BY:	CDL
CHECKED BY:	SIP

KING SURVEYORS
650 E. Garden Drive | Windsor, Colorado 80550
phone: (970) 686-5011 | fax: (970) 686-5821



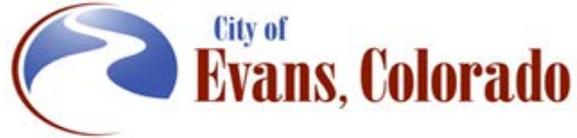
DATE:	2-16-16
EWL:	
REVISIONS:	
COSCO CHECK:	

VINTAGE VILLAS P.U.D. SUB. REPLAT #2
FOR
BAESSLER HOMES
3780 WEST 10TH STREET, SUITE 200
GREELEY, CO 80634

PROJECT #:
2015654

2

SHEET 2 OF 2



NOTICE OF PUBLIC HEARING

VINTAGE VILLAS P.U.D. Amendment to the Vintage Villas P.U.D. Plan

NOTICE is hereby given, pursuant to the Evans Municipal Code, that the **Evans Planning Commission** will hold a **Public Hearing** on **Tuesday, March 22nd, 2016** commencing at **6:00 pm**, and; and the **Evans City Council** will hold a **Public Hearing** on **Tuesday, April 5th, 2016**, commencing at **7:30 pm**. Meetings to be held at the City Hall Council Chambers, 1100 37th Street, Evans, Colorado. At which time and place they will consider and act upon the application for an Ordinance to Amend the Vintage Villas PUD Plan. The purpose of the request is to seek approval of the Vintage Villas Replat #2, A Replat of Lots 16 through 19, 24 through 28, and 30 through 33 of Block 9, Lots 11 through 16 and Lots 18 and 19 of Block 10, Lots 20 through 27 of Block 11 and Outlots A, B, C and 4 of Vintage Villas P.U.D. Subdivision Replat #1. The replat will reduce the number of lots within the proposed area by three lots and reconfigure the location of certain lots.

All persons in any manner interested in this matter may be present and heard regarding this proposed use. Additional information may be obtained from the Evans Community Development Department, 1100 37th Street, Evans, Colorado, between the hours of 8:00 am and 5:00 pm, Monday through Friday, or by phone at (970) 475-1108.